

Dear Principals and Business Managers,

The Education Directorate is funded to undertake small to medium works as identified in project categories at **Attachment A**. Upgrading facilities and infrastructure in ACT public schools through the annual Public School Infrastructure Renewal Program (PSIRP).

The Infrastructure and Capital Works (ICW) branch is seeking annual proposals from schools to assist in the development of the 2023-24 PSIRP. ICW is requesting input from your school and your school community. This is also an opportunity to update your previous infrastructure upgrade project priorities.

The annual PSIRP is endorsed by the Education Directorate and Minister for Education and Early Childhood Development each year as a rolling program.

Please review and complete the Request for Proposal Form at **Attachment B** and return to ESOInfrastucture@act.gov.au by **14 October 2022** with any supporting documentation for your proposal to be included with your submission.

If you have any questions regarding this proposal process, please do not hesitate to contact Richard Hooper at Richard.hooper@act.gov.au or on [REDACTED]

Regards,

John Nakkan
Acting Executive Branch Manager
Infrastructure and Capital Works

6 September 2022

Attachment A

Future Public School Infrastructure Renewal Program (PSIRP)- Request for Proposals Information

The PSIRP has sub-categories within the program. These categories are to ensure that all areas of the school infrastructure portfolio are considered at the school and system level. Schools are encouraged to consider each of these areas and to submit their proposal under the appropriate subcategory.

Project Categories:

CATEGORY 1: School Learning Area Improvements: Improvements to areas directly used for teaching and learning. Project examples such as upgrading teaching spaces (including preschools), learning support units, science labs, hospitality areas, technology, library area upgrades and modifications to increase school capacity.

CATEGORY 2: School Administration and Support Area Improvements: Improvements to the staff, administration and areas for community access to school facilities. Project examples such as upgrading administration areas, student and staff toilets, canteens, staffrooms and community meeting rooms.

CATEGORY 3: Accessibility Compliance: Addresses access requirements for students and staff who require support and the provision of appropriate learning spaces for all students. Project examples such as access ramps, accessible toilets and specialty infrastructure installations. An occupational therapist report is required when developing significant proposals of this nature for individual students.

CATEGORY 4: School Infrastructure Revitalisation: Improvements to the base infrastructure of the school. Project examples such as upgrading heating and cooling systems, major roof repairs, sewer and stormwater rectification and electrical upgrades.

CATEGORY 5: School Security Improvements: Improvements to the security of ACT public schools and facilitation of access by the community. This could include a wide range of measures such as new school fences or modifications to existing fences to allow community access, external lighting, general security upgrades, front office security measures and responding to the Directorate's security initiatives.

CATEGORY 6: School Safety Improvements: Improvements to the safety of ACT public schools. Projects such as car park and traffic safety, removal of hazardous materials and addressing other issues as they arise.

CATEGORY 7: External Learning Environments: Upgrades of the external areas at ACT public schools. Projects include landscape master planning, play equipment upgrades, shade structures, outdoor learning environments, hardcourts, courtyards and tree planting.

CATEGORY 8: Building Envelope and Energy Efficiency Improvements: These are projects responding to the ACT Government's requirements for improved energy and operational efficiency, and sustainability performance. Projects may include double glazing, insulation, building control systems, auto doors/air locks, draught proofing and heating and cooling efficiency measures. Please note these proposals will be assessed in consultation with the Environmental Sustainability team within ICW and have the potential to be joint funded with the school through the Solar Feed in Tariff.

Attachment B

Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name:

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
<i>EXAMPLE ONLY</i>	<i>Classroom upgrade</i>	<i>1</i>	<i>Expansion of classroom 1 to increase student numbers and provide class flexibility</i>	<i>Attached marked up floor plan showing classroom 1</i>	<i>Contractor's quote attached \$50k</i>

School Principal Name:

School Contact Number:

Date:


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Attachment B

Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name: Canberra College

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
EXAMPLE ONLY	<i>Classroom upgrade</i>	<i>1</i>	<i>Expansion of classroom 1 to increase student numbers and provide class flexibility</i>	<i>Attached marked up floor plan showing classroom 1</i>	<i>Contractor's quote attached \$50k</i>
	<i>Upgrade of various areas to increase student intake capacity for 2023. Make spaces more functional, flexible, and fit for purpose.</i> <i>Phased approach</i>	<i>1 & 3</i>	<i>Spaces include:</i> <ul style="list-style-type: none"> <i>Creation of new Careers Offices next to Student Services. This will provide a more functional space and provide students with one location for student support services. In addition, this will make space for our hybrid learning program (pilot) in the old careers space.</i> <i>New wall, ceiling in Asgard Theatre to section off the stage and create a new large classroom space to accommodate growing student numbers in our Big Picture program.</i> <i>Convert a classroom into a staffroom with data, power, installation of kitchenette and window and door to supervise directly into College GYM</i> 	<i>Attached architect plans Quotes have been sought from 3 different builders.</i>	<i>Waiting on quotes</i>

			<ul style="list-style-type: none"> • <i>Move a kitchenette from inside a classroom to outside.</i> • <i>Replacement door (access into building) to an auto door to make accessible for students in wheelchair (maths area)</i> 		
	<i>GYM Basketball hoops</i>	<i>6</i>	<ul style="list-style-type: none"> • <i>Replacement of basketball hoops, backboards and support structures in College GYM. To ensure safety and compliance. Current Basketball Hoops are a WH&S concern. They are currently out of use by students and hirers and are being removed.</i> 	<i>Seeking quotes currently. 1 returned Attached Waiting on 2</i>	
	<i>Hospitality Kitchen classroom upgrade</i>	<i>1 & 6</i>	<ul style="list-style-type: none"> • <i>Upgrade Hospitality Kitchen classroom to industry and WH&S standards. Current kitchen is outdated, some equipment does not work. Manual Gas emergency shut off valve/lever is located behind an oven/gas stove and is not easily accessible.</i> • <i>Refurb required to support student Pathways from high school to college to university or the workplace.</i> <p><i>Note students attending the College to complete hospitality courses (VET level) are working with outdated and in some cases unfunctional equipment and kitchens. These Kitchens are far older than the ones they have used in their high schools prior to attending college.</i></p>	<i>No plans or quotes have been sourced yet. Early stages of planning and costing.</i>	

	<p><i>Front of school Roof – Installation of Flashing</i></p>	<p>6</p>	<p><i>Install flashing on front of school. Recent job logged through property group uncovered a need for flashing on a section of our roofline. Currently when it rains the water is flowing into roof cavity and dispersing through ceiling. Significant WH&S concerns related to water damage and mould.</i></p>	<p><i>Asked the plumber to submit a quote to have flashing installed. Quote went to property group and we have not received any further information.</i></p>	<p><i>Waiting on communication and quote for 2 months from property group.</i></p>
	<p><i>Front Office/Gym changeroom and accessible toilet refurbishment</i></p>	<p>3</p>	<p><i>Accessibility Compliance</i></p> <p><i>Redesign of the front office/reception area to make more accessible. We have had feedback from a parent in a wheelchair regarding our high reception countertops, in addition we have a student in a wheelchair and this is not accessible for them when accessing the front office support/services. A redesign of this space will improve functionality, create space and provide an accessible facility for students, staff, parents/carers and visitors.</i></p> <p><i>GYM changerooms and accessible toilet. We currently have no accessible toilets in our Gym for students, staff and visitors. Current change rooms are outdated and underutilised, some of the toilets are unfunctional. This space requires a refurbishment and the addition of accessible toilet to meet requirements and provide equitable access for students and</i></p>	<p><i>Plans from architect attached</i></p> <p><i>No quotes sourced at this stage.</i></p>	

			<i>visitors in wheelchairs at Canberra College.</i>		
	<i>Secure Carpark – future proofing and safety</i>	<i>6</i>	<i>Boom gates installed in our college carpark. Immediate need is to install a boom gate in the back carpark and make this a staff parking area. This is to stop students from removing fencing and taking their cars onto the grassed area (risk to safety of others when students drive on grass area). Additional need to install boom gates in whole carpark to stop people outside the college from parking in our carpark.</i>	<i>With the expansion works happening in the Woden precinct and also the location of many government departments around the college a lot of people outside the college use our carparks. This takes away from the students and the staff of the college and results in students parking on verges and unsafe spaces. We do not have enough car spaces (especially in second half of the year)</i>	
	<i>Full review of square plaster ceiling tiles in college to determine integrity.</i>	<i>6&4</i>	<i>Following 3 incidents where seemingly intact ceiling tiles have fallen (in classroom, corridor and on a staff desk) a full review of the ceiling tiles and potential replacement is sought.</i>	<i>Property group sent out a builder to look at the fallen tiles in the office. He replaced damaged tiles and recommended we further review the tiles throughout the college and advised he would submit this advice to property group. This is a large amount of space.</i>	
	<i>Install an electric car charging station at College</i>	<i>4 & 8</i>	<i>To support sustainability and move to support students, staff and potentially the community with electric cars install 1 or more charging stations at the front of the college.</i>	<i>College students are at the age where they are gaining their licence. Installation of an electric car charging station would support students and support government initiatives and targets for reduced emissions and sustainability</i>	



School Principal Name: Simon Vaughan

Business Manager: Claire Clode

Date: 7/09/2022

**PSP+ REPORT:
CANBERRA COLLEGE – UPGRADES**



**CANBERRA
COLLEGE**

Caring for your future

Issue/ Amendment Register

Issue	Date	Purpose of Issue/ Nature of revision	Prepared by	Reviewed by
-	24/08/22	PSP+ Issue for costing		

TABLE OF CONTENTS

TABLE OF CONTENTS	3
PROJECT DESCRIPTION	5
1. SITE	6
2. SPATIAL FUNCTIONS	7
3. SCHEDULE OF AREAS	8
ROOM DATA SHEETS	9
ITEMS TO BE INVESTIGATED	18
ATTACHMENTS.....	19
1. ARCHITECTURAL PLANS	19
2. ARCHITECTURAL SCHEDULES	20
3. SAFETY IN DESIGN REGISTER	21
SIGN OFF SHEET	22

Project Team

DISCIPLINE	COMPANY	CONTACT PERSON	CONTACT DETAILS
Clients	Canberra College	Simon Vaughan (deputy Principal)	P: 02 6142 3288 E: Simon.Vaughan@ed.act.edu.au
		Claire Clode	M: 02 6142 3288 E: Claire.Clode@ed.act.edu.au
Architecture			

Canberra College, 40 Launceston St, Phillip ACT 2606 Client: ama Projects

Block: 16
Section: 79
Division: Phillip
Land Use Zone: PRZ1: URBAN OPEN SPACE; CF: COMMUNITY FACILITIES
Block Area: 57,880m2

Background information:

Canberra College have identified 5 areas requiring upgrade works to either create additional office space, a contemporary learning environment to a student “soup” point.

The school is steel and brick structure which is sprinklered with multiple fire compartments.



PROJECT DESCRIPTION

█ has been engaged by Canberra College to prepare a procurement brief and PSP+ design for capital upgrades to 5 areas at the school. These documents will allow for procurement of these works under a separate D&C arrangement when the funds become available.

The areas and works proposed are as listed below:

1. First Floor:

- a) Area 1 – New Careers Office
 - 4-5 work stations
 - Full height glazing with chair rail opening to the cafe
 - 2x new aluminium framed glazed door (920x2040mm) with chair rail
 - 1x new solid core timber door (920x2040mm)
- b) Area 2 – New “Big picture” classroom space
 - For the use of 30-40 students
 - New 3m high wall to Asgard Theatre and suspended ceiling @ 2675mm over (sprinkler and smoke detection coverage to be provided)
 - Reuse existing double door with panic bars
 - Acoustic treatment of wall and ceiling to achieve RW45, except for reused door
- c) Area 3 – New Open Plan Classroom
 - Remove central dividing wall and demolish the toilets/ showers entirely and opening the space up
- d) Area 4 – New Kitchenette “Soup Heating point”
 - Demolish kitchen on classroom side, re-route the services to the corridor side of the wall
 - New kitchenette bench to corridor side (approx. 1800mm wide, 600mm deep, 900mm high) providing a sink, cupboards(lockable)/ fixed panels containing boiling water unit and DGPO over for microwave

2. Ground Floor:

- e) Area 5 – New PE office and upgraded glass door
 - 6-8 work stations
 - New kitchenette bench (approx. 2400mm wide, 600mm deep, 900mm high) with hanging open shelves over (approx. 2400mm wide, 350mm deep, 600mm high) providing a sink, a bar fridge nook, 2x drawer unit (1x shallow cutlery drawer, 2x deep pot drawers), cupboards containing boiling water unit and a microwave nook
 - 1x new aluminium framed glazed door (920x2040mm) with side light and chair rail to hall (high impact resistant safety glass)
 - 1x new aluminium framed fixed glazed window (1800x 1100mm) to hall
 - 1x new external aluminium framed (thermally broken), double glazed, double leaf swing door with automated door opener and chair rail (1x approx. 610x 2040mm fixable leaf, 1x 920x2040mm operable leaf)

1. SITE

Block 16, Section 79, Phillip has two zones applicable PRZ1: URBAN OPEN SPACE and CF: COMMUNITY FACILITIES zone. It has an area of 57,880m². An existing school, Canberra College, CC Cares and associated facilities are located on this block.

GENERAL REGULATORY REQUIREMENTS

The following assessment is [REDACTED] interpretation of the applicable legislation and will require confirmation by a certifier prior to acting on it.

Development Approval

The Planning and Development Regulation 2008 defines Exempt Developments for the requirement for development approval for existing schools.

Canberra College is a government school as defined in section 20 of the Education Act 2004, which means that the exemptions outlined in the Planning and Development Regulation 2008 apply to the site.

In our assessment of the regulation the type of work proposed classify as DA exempt.

Building Approval

Building Approval (BA) might be required and should be allowed for as the works include changes to services and egress path infrastructure. A suitable Principal Certifying Authority (PCA) should and will have to be engaged by the contractor to determine if the proposed works are BA exempt. Should the work be found to be BA exempt written advise by the PCA is to be provided to the ACT Education Directorate and the school prior to commencing with the works.



2. SPATIAL FUNCTIONS

The proposal is typically opening up the existing spaces to create multi-functional spaces catering for a whole range of activities. The only two exemptions to this are the new careers office and the “Big Picture” classroom space, which are partitioning areas off.

Exit Signage/ Egress Doors:

At the new proposed careers office there is a marked egress door leading to a back of house area (former canteen and associated storage facilities). For the purpose of this design this door has been treated as a required egress door, however it might not be required if it could be demonstrated that a travel distance to a point of choice of not more than 20m is provided with one of the exit points then being 20m from this point of choice. – contractor to double check/ verify and if possible, delete the exit sign and free handle requirement to this door.

Occupation Warning:

Investigate existing speaker coverage, amend and add to suit the proposed new layout (minimum 1x speaker per room). Within area of works provide new speakers where this is not achieved.

Dry Fire:

Investigate existing smoke detection system, amend and add to suit the proposed new layout. Provide certification of the works upon completion. Provide NCC compliant coverage and certificate for the area of works.

Wet Fire:

Investigate existing sprinkler coverage, amend and add to suit the proposed new layout. Provide certification of the works upon completion. Provide NCC compliant coverage and certificate for the area of works.

HVAC:

No scope.

Lighting:

Provide energy efficient LED light fitting (troffers) and switching to the area of works where nominated.



3. SCHEDULE OF AREAS

EXISTING			PROPOSED		
ROOM	FUNCTION	M2	ROOM	FUNCTION	M2
AREA 01					
New Careers Office					
Cafe	student amenity	104.6m2	New Careers Office	open plan office	38.5m2
			Cafe	student amenity	65.0m2
AREA 2					
New "Big picture" classroom space					
Asgard Theatre	learning environment	351.2m2	New "Big Picture" classroom	alt. learning environment	92.2m2
			Asgard Theatre	learning environment	257.2m2
AREA 3					
New Open Plan Classroom					
Small Group Unit 01	learning environment	27.4m2	New Open Plan Classroom	alt. learning environment	71.0m2
Shower & WC 01	student amenity	5.3m2			
Small Group Unit 02	learning environment	27.9m2			
Shower & WC 02	student amenity	5.3m2			
AREA 4					
New Kitchenette "Soup Heating point"					
Corridor	circulation	N/A	Corridor	circulation	N/A
AREA 5					
New PE office and upgraded building entry door					
Math Classroom	learning environment	50.1m2	New PE office	office	50.1m2
Corridor	circulation	N/A	Corridor	circulation	N/A

ROOM DATA SHEETS

General:

1. All new works to comply with current NCC and other relevant Australian Standards or applicable regulations.
2. Remove and make safe redundant services
3. All items highlighted in **yellow** to be confirmed by ACT ED/ school
4. IFCW ICT to advice on data and power provisions.
5. refer to Education Directorate Infrastructure Specifications (EDIS) for smoke detection, emergency & general lighting requirements where applicable

AREA 01 - New Careers Office

Room: New Careers Office
Area/ dimensions: 38.5m²
Occupancy: 5-6 people
Functional use: Open plan office

ITEM	DESCRIPTION
Architectural	
Wall finishes	Low-VOC, semi-gloss and washable paint. - refer finishes schedule
Specialised wall finishes	Acoustic Autex pinboard 1220mm down from top of door frame to all walls. (approx. 2100mm AFL)
Floor finishes	N/A, existing retained
Ceiling	Paint all plasterboard ceilings with low-VOC paint. - refer FF&E schedule
Window furnishings	N/A
Window	1x new fixed glazed window band to café <ul style="list-style-type: none"> 8965 (W) x 1100 (H), divided into 8 equal bays with mullions commercial grade shopfront aluminium framing fixed glazed, safety glass to AS1288 sill at 1000AFL, head to match door height
Doors	2x aluminium framed glazed swing door (1x to cafe, 1x to back of house) <ul style="list-style-type: none"> 920(W) x 2040(H) aluminium framed glazed leaf with chair rail at 1000mm AFL 4x heavy-duty stainless-steel hinges heavy-duty, stainless-steel lever hardware to AS1428 acoustic perimeter and drop seals with suitable threshold plate 1x floor door stop classroom lock
Locks	To match the school's master key system (cylinders to be provided by the school/ Education Department)
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	N/A
Furniture (by others)	N/A, school to provide
Equipment	N/A, school to provide
Signage	Provide statutory signage as well as signage to ACT ED's policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	1x cleaner GPO 10x DGPO (half with USB)
lights	Modify/ add switches to control the lighting in the new open plan office (1x at each door) Emergency & Exit lights to meet NCC and applicable AS ACT ED/ school to confirm if the provision of new energy efficient LED light fitting (troffers) to the area of works is part of the scope. If it was, then provide energy efficient LED troffer lights.
Communication/ AV equipment/data	5x DDATA 100% Wifi coverage
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	Provide smoke detection coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Sprinklers	Provide sprinkler coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Hydraulic – refer next section for items to be investigated	
Water supply	N/A
Water waste	N/A
Gas	N/A

Room: Cafe
Area/ dimensions: 65.0m²
Occupancy: 10-20 people
Functional use: Student Amenity

ITEM	DESCRIPTION
Architectural	
Wall finishes	Low-VOC, semi-gloss and washable paint. - refer finishes schedule
Specialised wall finishes	N/A, existing retained
Floor finishes	N/A, existing retained
Ceiling	N/A, existing retained only make good
Window furnishings	N/A
Window	1x new fixed glazed window band to new careers office – refer room data sheet.
Doors	1x aluminium framed glazed swing door to new careers office – refer room data sheet. 1x solid timber swing door to back of house <ul style="list-style-type: none"> • 920(W) x 2040(H) solid core timber leaf (45mm thick) in pressed metal door frame • 4x heavy-duty stainless-steel hinges • heavy-duty, stainless-steel lever hardware to AS1428 • 1x floor door stop • classroom lock
Locks	To match the school's master key system (cylinders to be provided by the school/ Education Department)
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	N/A
Furniture (by others)	N/A, school to provide
Equipment	N/A, school to provide
Signage	Provide statutory signage as well as signage to ACT ED's policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	Add the following to the new wall shared with the new careers office 1x DGPO @ 1600mm (for monitor)
lights	Emergency & Exit lights to meet NCC and applicable AS ACT ED/ school to confirm if the provision of new energy efficient LED light fitting (troffers) to the area of works is part of the scope. If it was, then provide energy efficient LED troffer lights and associated switching.
Communication/ AV equipment/data	Add the following to the new wall shared with the new careers office 1x DDATA @ 1600mm (for monitor)
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	Provide smoke detection coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Sprinklers	Provide sprinkler coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Hydraulic	
Water supply	N/A
Water waste	N/A
Gas	N/A

AREA 02 - New “Big Picture” classroom space

Room: New “Big Picture” classroom
Area/ dimensions: 92.2m2
Occupancy: 30-40 students
Functional use: alternative learning environment

ITEM	DESCRIPTION
Architectural	
Wall finishes	Low-VOC, semi-gloss and washable paint. – refer finishes schedule
Specialised wall finishes	Acoustic Autex pinboard 1220mm down from top of door frame to all walls. (approx. 2100mm AFL)
Floor finishes	New carpet tiles – refer finishes schedule
Ceiling	New suspended ceiling grid with acoustic insulation <ul style="list-style-type: none"> • acoustic ceiling tiles, 1200 x 600 – refer finishes schedule • acoustic glass wool insulation, R 3.1 <p>The intent is to achieve an RW45 acoustic rating.</p>
Window furnishings	N/A
Window	N/A
Doors	1x existing double door with panic bars installed in new location <ul style="list-style-type: none"> • remove, clean, reinstall in new location and service 1x existing single swing door retained <ul style="list-style-type: none"> • service all hardware
Locks	To match the school’s master key system (cylinders to be provided by the school/ Education Department)
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	N/A
Furniture (by others)	N/A, school to provide
Equipment	N/A, school to provide
Signage	Provide statutory signage as well as signage to ACT ED’s policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	1x cleaner GPO 10x DGPO (half with USB)
lights	Provide new energy efficient troffer lights to meet the required lighting levels as required by NCC & EDIS for classroom spaces. Provide motion sensor switching (min 2x sensors). Emergency & Exit lights to meet NCC and applicable AS
Communication/ AV equipment/data	5x DDATA 100% Wifi coverage
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	Provide smoke detection coverage as required by the relevant codes and to ACT ED’s policies and guidelines for high schools, connect to the FIP.
Sprinklers	Provide sprinkler coverage as required by the relevant codes and to ACT ED’s policies and guidelines for high schools, connect to the FIP.
Hydraulic – refer next section for items to be investigated	
Water supply	N/A
Water waste	N/A
Gas	N/A

AREA 03 - New Open Plan Classroom

Room: New Open plan Classroom
Area/ dimensions: 71.0m2
Occupancy: 20 students, 2 teachers
Functional use: alternative learning environment

ITEM	DESCRIPTION
Architectural	
Wall finishes	Low-VOC, semi-gloss and washable paint. - refer finishes schedule
Specialised wall finishes	Acoustic Autex pinboard 1220mm down from top of door frame to all walls. (approx. 2100mm AFL)
Floor finishes	New carpet tiles – refer finishes schedule
Ceiling	New suspended ceiling grid <ul style="list-style-type: none"> acoustic ceiling tiles, 1200 x 600 – refer finishes schedule
Window furnishings	N/A
Window	N/A
Doors	2x existing single swing door retained <ul style="list-style-type: none"> replace door knobs with heavy-duty, stainless-steel lever hardware to AS1428
Locks	N/A, existing retained
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	N/A
Furniture (by others)	N/A, school to provide
Equipment	N/A, school to provide
Signage	Provide statutory signage as well as signage to ACT ED's policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	N/A, existing retained
lights	Provide new energy efficient troffer lights to meet the required lighting levels as required by NCC & EDIS for classroom spaces. Provide motion sensor switching (min 2x sensors). Emergency & Exit lights to meet NCC and applicable AS
Communication/ AV equipment/data	100% Wifi coverage
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	Provide smoke detection coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Sprinklers	Provide sprinkler coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Hydraulic – refer next section for items to be investigated	
Water supply	N/A
Water waste	N/A
Gas	N/A

AREA 04 - New Kitchenette “Soup Heating point”

Room: Corridor
 Area/ dimensions: N/A
 Occupancy: N/A
 Functional use: circulation

ITEM	DESCRIPTION
Architectural	
Wall finishes	Make good only.
Specialised wall finishes	1800(W) x 600 (H) splashback – refer finishes schedule.
Floor finishes	Make good only.
Ceiling	N/A, existing retained
Window furnishings	N/A
Window	N/A
Doors	N/A
Locks	N/A
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	J01 - New Student Soup Point 1. Bench Unit <ul style="list-style-type: none"> • 1800(w) x 600(d) x 900(h), laminex finish – refer finishes schedule • 100mm kick • 1x 600mm cupboard door for under sink access, all other panels fixed • 40mm bench top with bull nose edge • single sink with drainer, sink mixer & under bench boiling hot water unit with mixer tap
Furniture (by others)	N/A
Equipment	1x boiling hot water unit with safety switch function – refer finishes schedule.
Signage	N/A
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	1x GPO (under bench, separate circuit) for boiling hot water unit 1x DGPO 200mm above bench (for microwave)
lights	N/A
Communication/ AV equipment/data	N/A
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	N/A
Sprinklers	N/A
Hydraulic – refer next section for items to be investigated	
Water supply	1x mixer tap 1x boiling hot water unit
Water waste	1x sink 1x boiling hot water unit
Gas	N/A

AREA 05 - New PE Office and Upgraded Building Entry Door

Room: New PE office
Area/ dimensions: 50.1m2
Occupancy: 8 people
Functional use: Open Plan Office

ITEM	DESCRIPTION
Architectural	
Wall finishes	Low-VOC, semi-gloss and washable paint. – refer finishes schedule
Specialised wall finishes	Acoustic Autex pinboard 1220mm down from top of door frame to all walls. (approx. 2100mm AFL) 2400(W) x 600 (H) splashback – refer finishes schedule.
Floor finishes	Make good only.
Ceiling	N/A, existing retained
Window furnishings	N/A
Window	1x new aluminium framed fixed glazed window to gymnasium <ul style="list-style-type: none"> • 1800 (W)x 1100 (H), divided into 2 equal bays with mullions • commercial grade shopfront aluminium framing with steel reinforced frame • fixed glazed, safety glass to AS1288 and suitable to withstand ball strike (facing the gymnasium) • sill at 1000AFL, head to match door height
Doors	1x new aluminium framed glazing portal to gymnasium <ul style="list-style-type: none"> • 1620(W)x2100(H) • commercial grade shopfront aluminium framing with steel reinforced frame • safety glass to AS1288 and suitable to withstand ball strike (facing the gymnasium) • Aluminium Framed Glazed Leaf <ul style="list-style-type: none"> ○ 920(W) x 2040(H) ○ chair rail at 1000mm AFL ○ 4x heavy-duty stainless-steel hinges ○ heavy-duty, stainless-steel lever hardware to AS1428 ○ acoustic perimeter and drop seals with suitable threshold plate ○ 1x floor door stop ○ classroom lock • Side light <ul style="list-style-type: none"> ○ 600(W) x 2040(H) ○ chair rail at 1000mm AFL 1x existing single swing door retained <ul style="list-style-type: none"> ○ replace door knobs with heavy-duty, stainless-steel lever hardware to AS1428
Locks	To match the school's master key system (cylinders to be provided by the school/ Education Department)
Security	Existing to be retained
Firefighting equipment	N/A, existing to be retained.
Joinery	J02 - New Kitchenette 1. Bench Unit <ul style="list-style-type: none"> • 2400(w) x 600(d) x 900(h), laminate finish – refer finishes schedule • 100mm kick • 4x 600 (w) modules - 1x cupboard (under sink), 2x drawers (1x 120 high, 2x 320), 1x bar fridge nook • 40mm bench top with bull nose edge • single sink with drainer, sink mixer & under bench boiling hot water unit with mixer tap 2. Open Shelves Over <ul style="list-style-type: none"> • 2400(w) x 350(d) x 600(h), bottom @ 1500AFL, laminate finish – refer finishes schedule • 8x 400(w) modules each with 1x adjustable shelf
Furniture (by others)	N/A
Equipment	1x boiling hot water unit with safety switch function – refer finishes schedule.
Signage	Provide statutory signage as well as signage to ACT ED's policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	1x GPO (under bench, separate circuit) for boiling hot water unit 1x GPO (under bench, separate circuit) for bar fridge 2x DGPO 200mm above bench (for microwave) 16x DGPO(half with USB) 1x cleaner DGPO

lights	Emergency & Exit lights to meet NCC and applicable AS ACT ED/ school to confirm if the provision of new energy efficient LED light fitting (troffers) to the area of works is part of the scope. If it was, then provide energy efficient LED troffer lights.
Communication/ AV equipment/data	8x DDATA 100% Wifi coverage
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	Provide smoke detection coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Sprinklers	Provide sprinkler coverage as required by the relevant codes and to ACT ED's policies and guidelines for high schools, connect to the FIP.
Hydraulic – refer next section for items to be investigated	
Water supply	1x mixer tap 1x boiling hot water unit
Water waste	1x sink 1x boiling hot water unit
Gas	N/A

Room: Corridor
Area/ dimensions: N/A
Occupancy: N/A
Functional use: circulation

ITEM	DESCRIPTION
Architectural	
Wall finishes	Make good only.
Specialised wall finishes	N/A
Floor finishes	Make good only.
Ceiling	N/A, existing retained
Window furnishings	N/A
Window	N/A
Doors	1x New Aluminium Framed, Glazed, Double Leaf Door <ul style="list-style-type: none"> • thermally broken extrusions with double glazing to meet Education Directorate Infrastructure Specification (EDIS) • chair rail @ 1000mm AFL • safety glass to AS1288 • 1x 920mm wide operational leaf, 1x 610mm(cos) fixable leaf (bolts to top & bottom) • 4x heavy duty hinges per leaf • perimeter, drop & astragal seal to meet NCC (section J, building sealing) • electric automated swing door opener/ closer with sensors, after hour key locks & mushroom – refer finishes schedule.
Locks	To match the school's master key system (cylinders to be provided by the school/ Education Department)
Security	Existing to be retained
Firefighting equipment	N/A
Joinery	N/A
Furniture (by others)	N/A
Equipment	N/A
Signage	Provide statutory signage as well as signage to ACT ED's policies and guidelines.
HVAC – currently no scope	
Ventilation	N/A, existing retained.
HVAC	N/A, existing retained.
Electrical – the below is the minimum requirement, check existing and add as required	
power	Hardwire automated door opener/ closer
lights	N/A
Communication/ AV equipment/data	N/A
Fire Services – verify existing compliance of existing. If it was not to comply, then provide:	
Smoke detection	N/A
Sprinklers	N/A
Hydraulic – refer next section for items to be investigated	
Water supply	N/A
Water waste	N/A
Gas	N/A

ITEMS TO BE INVESTIGATED

General	
General	Check to be demolished walls for concealed structural elements (e.g., columns, bracing) and if required prepare structural design to modify structure as needed to achieve proposed floor plan.
Electrical	
General	Investigate and report the condition and capacity of the electrical system, check if the system can accept the additional GPOs
Light fittings	Check status of the existing light fittings (only in areas where lighting replacement has not been identified.): <ul style="list-style-type: none"> • Are they fluoro lights or LED lights? • If they are LED how old and would it be recommended to upgrade? • If recommended to upgrade, provide a variation cost to the PM and seek direction prior to proceeding with the lighting upgrade.
PA speaker coverage	Investigate the location and condition of the existing PA system. Allow for and provide new speakers only where required
WiFi Coverage	Investigate existing WiFi coverage if found to not cover 100%, then upgrade WiFi units
HVAC – currently no scope	
Fire Services	
Smoke detection	Investigate suitability of existing smoke detector layout with new configuration. Relocate and upgrade numbers if found that the current coverage is not suitable
Sprinkler layout	Develop a new sprinkler layout suitable for the new layout of areas 1, 2 & 3 and install/ modify sprinkler infrastructure as required.
Hazmat – review the Hazmat register and conduct further destructive investigation as requested below	
Hazmat general	Undertake investigation prior to starting work.
Asbestos	Conduct invasive asbestos survey to the area of works
Led Paint	Conduct invasive led paint survey to the area of works

ATTACHMENTS

1. ARCHITECTURAL PLANS ARCHITECTURAL PLANS



2. ARCHITECTURAL SCHEDULES

SCHEDULE OF FINISHES



3. SAFETY IN DESIGN REGISTER



SIGN OFF SHEET

Canberra College

Representative:

Date:

Signature:





Issue Register

Ref.	Date	Issue/Amendment
1	11/08/22	FIRST ISSUE FOR CLIENT REVIEW
2	12/08/22	PSP4 ISSUE
	24/08/22	MINOR AMENDMENTS

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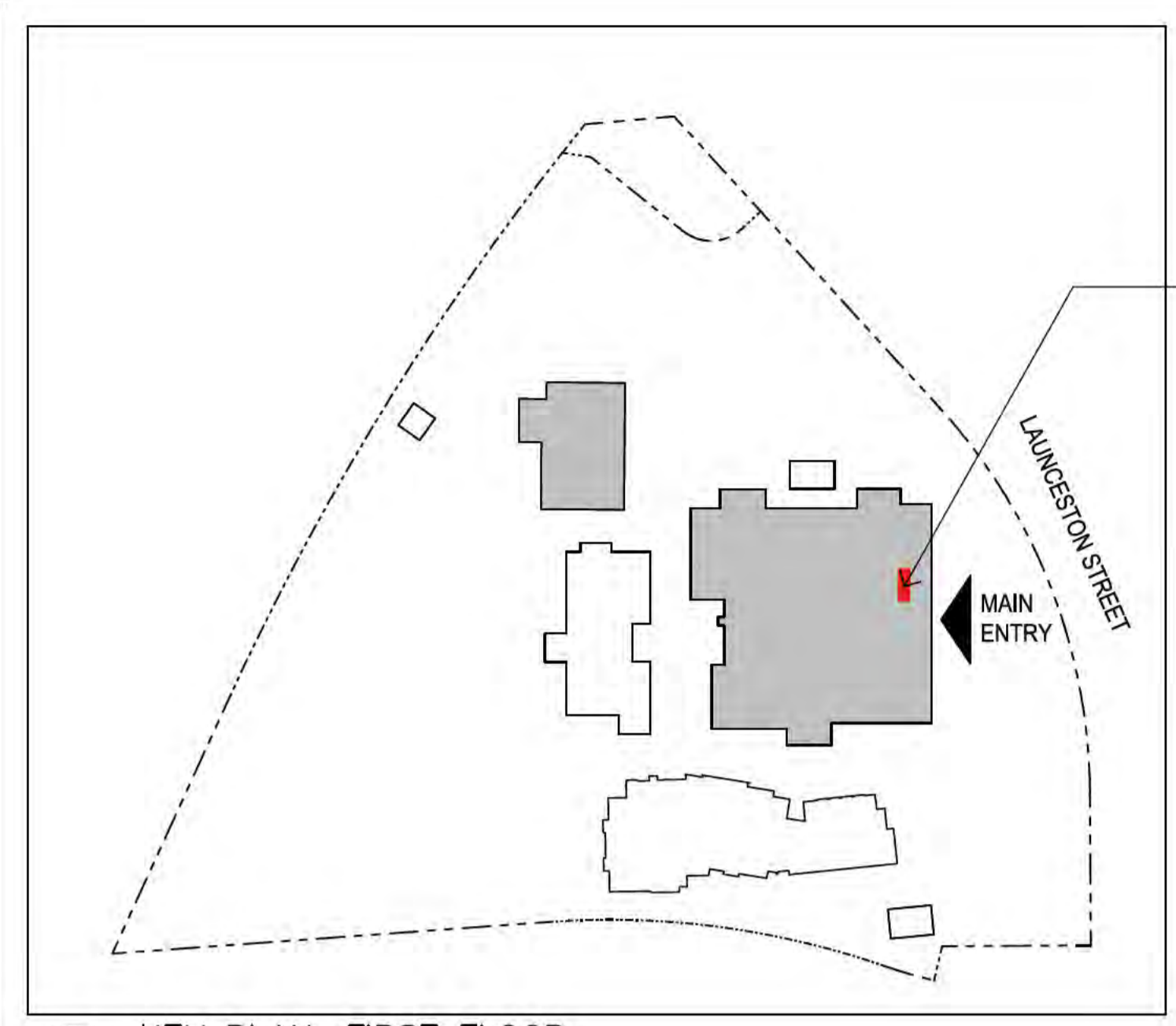
Block	Section	Division
16	79	PHILLIP

Drawing Title: AREA 01: NEW CAREERS OFFICE EXISTING

Drawn:	Director:
Checked:	Verifier:

Scale:	Date:
AS NOTED	07/08/22
Project No.:	CAD Name:

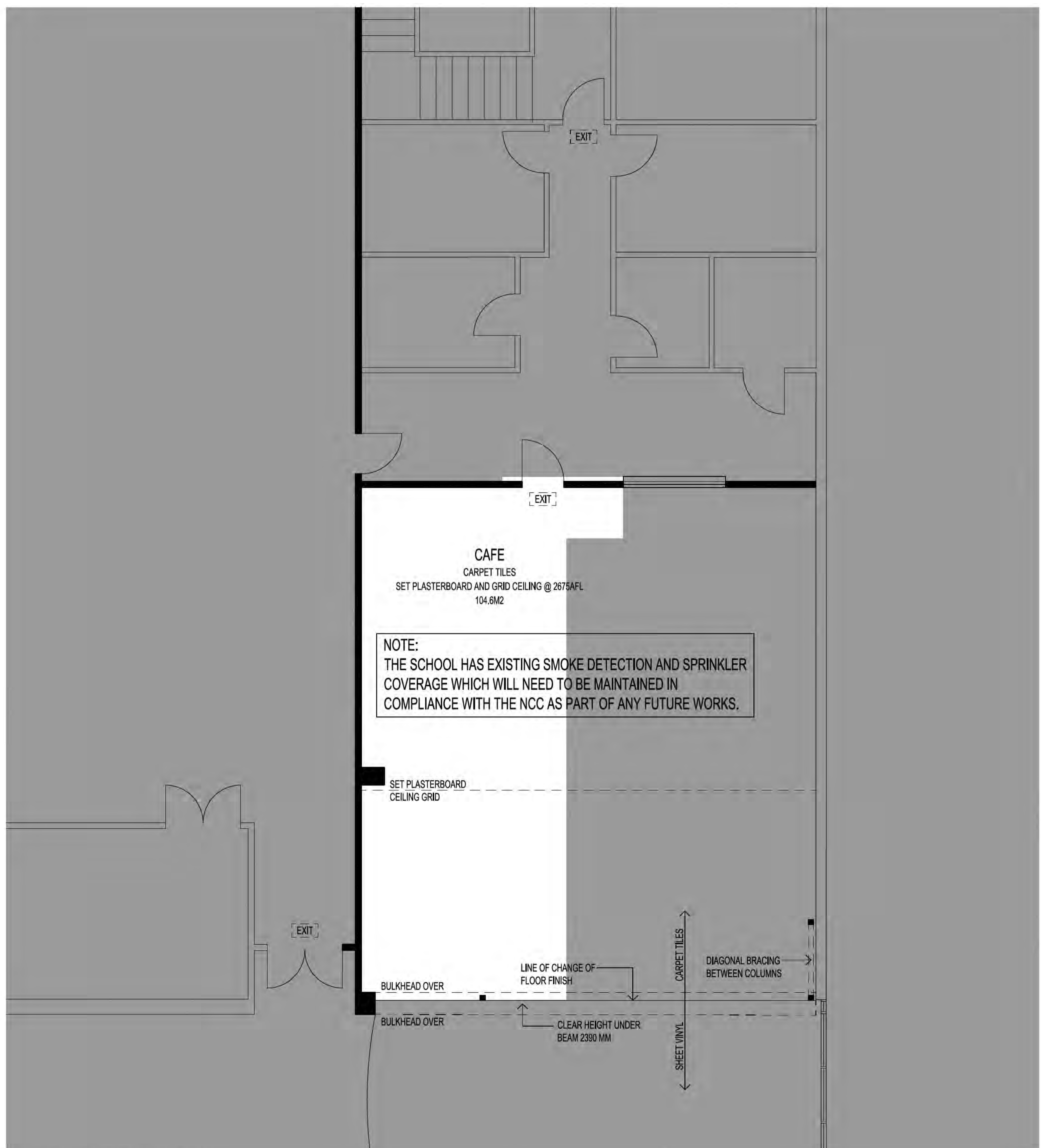
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1906.02	A050	2
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AREA 1 - NEW PROPOSED CAREERS OFFICE

1 KEY PLAN, FIRST FLOOR

NTS



NOTE:
THE SCHOOL HAS EXISTING SMOKE DETECTION AND SPRINKLER COVERAGE WHICH WILL NEED TO BE MAINTAINED IN COMPLIANCE WITH THE NCC AS PART OF ANY FUTURE WORKS.

1 EXISTING FLOOR PLAN

SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:

	EXISTING PARTITION WALL
	EXISTING DOOR
	AREA OUT OF SCOPE

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Issue Register

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1	11/08/22	FIRST ISSUE FOR CLIENT REVIEW
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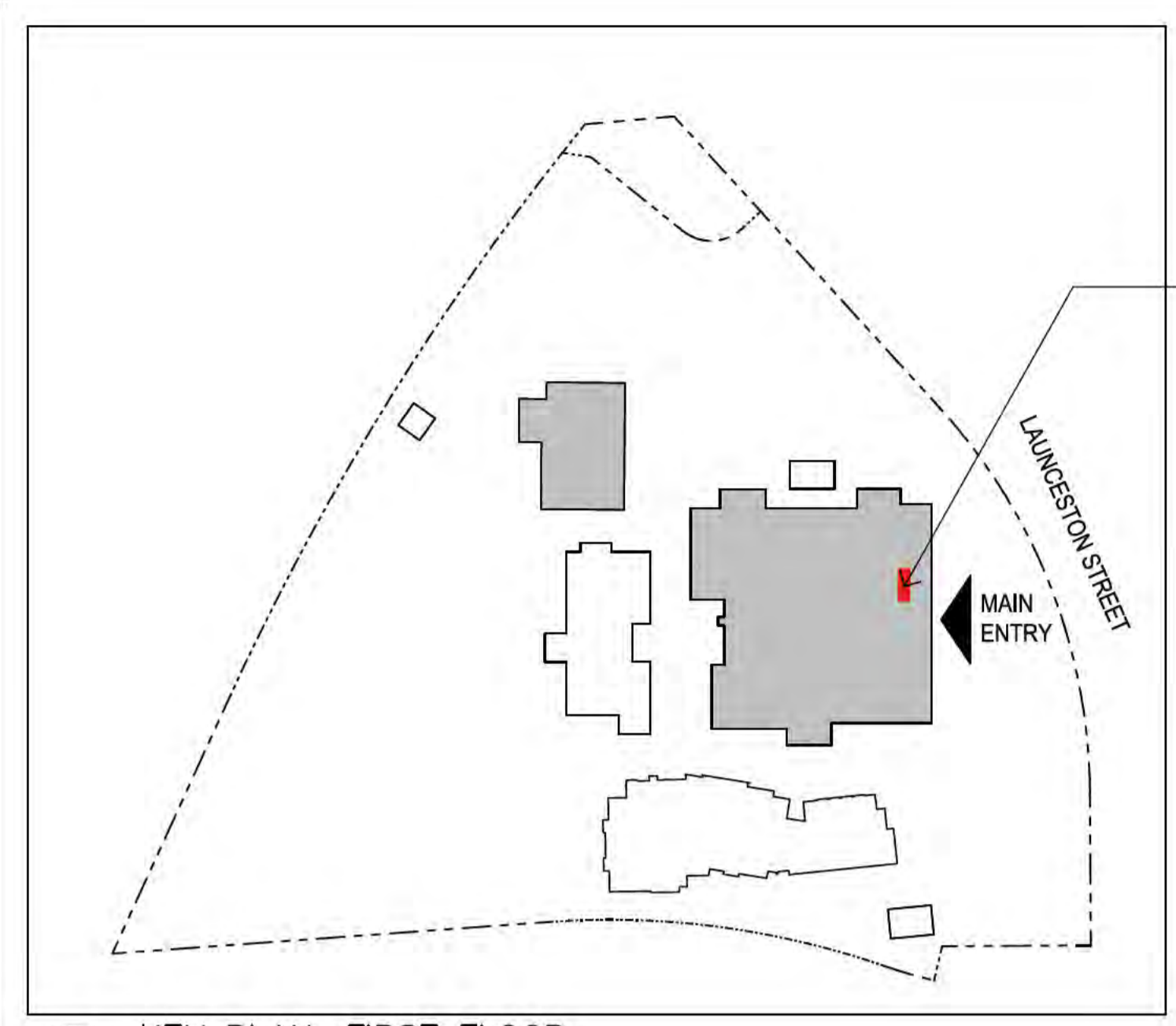
Block 16 Section 79 Division PHILLIP

Drawing Title: AREA 01: NEW CAREERS OFFICE PROPOSED

Drawn: [Redacted] Director: [Redacted]
Reviewed: [Redacted] Verified: [Redacted]

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QA Reference: 1906.02 Sheet No.: A051 Amendment: 2
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AREA 1 - NEW PROPOSED CAREERS OFFICE

KEY PLAN, FIRST FLOOR
NTS



NOTE:
THE SCHOOL HAS EXISTING SMOKE DETECTION AND SPRINKLER COVERAGE WHICH WILL NEED TO BE MAINTAINED IN COMPLIANCE WITH THE NCC AS PART OF ANY FUTURE WORKS.

PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:

- AREA OUT OF SCOPE
- EXISTING PARTITION WALL
- NEW PARTITION WALL

DOOR TYPES:

LEAF WIDTH

1 INTERNAL DOOR, ALUMINUM FRAMED GLAZED DOOR

- 4 HEAVY DUTY HINGES
- CHAIR RAIL AT 1000mm AFL
- LEVER HARDWARE TO AS 1428
- SAFETY GLASS TO AS 1298
- PERIMETER SEALS, DROP SEALS AND THRESHOLD PLATE
- DOOR STOP

2 INTERNAL DOOR, SOLID CORE TIMBER DOOR

- 4 HEAVY DUTY HINGES
- LEVER HARDWARE TO AS 1428
- PERIMETER SEALS, DROP SEALS AND THRESHOLD PLATE
- DOOR STOP

WALL TYPES:
(NOMINATED FROM THE OUTSIDE TO THE INSIDE OF THE NEW BUILDING)

WD1 INTERNAL WALL, LIGHT WEIGHT WALL TO MATCH INTERNAL WALL THICKNESS

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- SINGLE OR DOUBLE METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

W02 INTERNAL WALL, 116MM LIGHT WEIGHT WALL

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- 60MM METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

NOTE:
1. USE SANITARY GRADE PLASTERBOARD AND PROVIDE WALL TILES TO ALL WET AREAS

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PSP+

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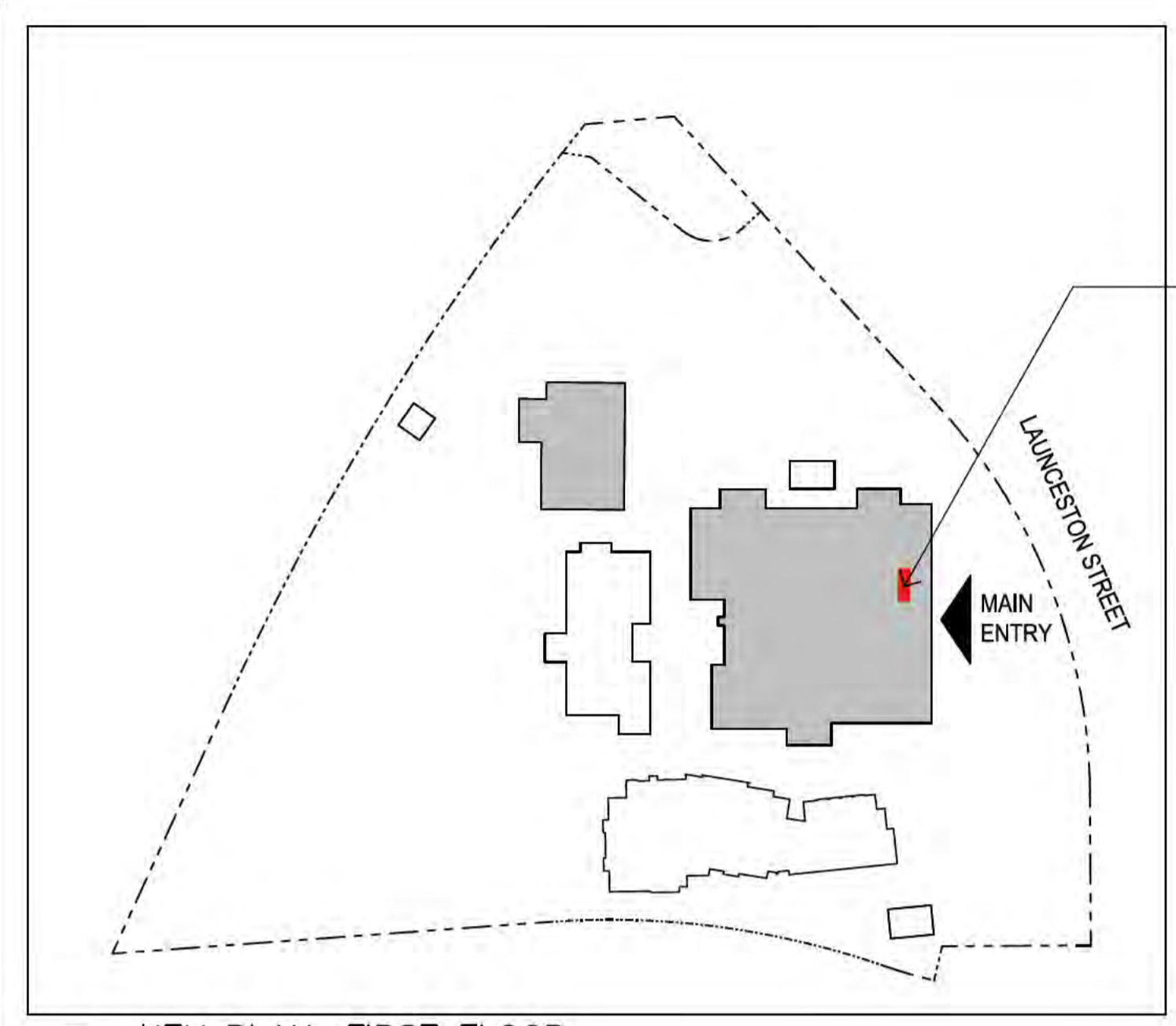
Drawing Title:
**AREA 01:
NEW CAREERS OFFICE
DEMOLITION**

Drawn:	Director:
Reviewer:	Verifier:

Scale:	Date:
AS NOTED	07/08/22
Project No.:	CAD Name:

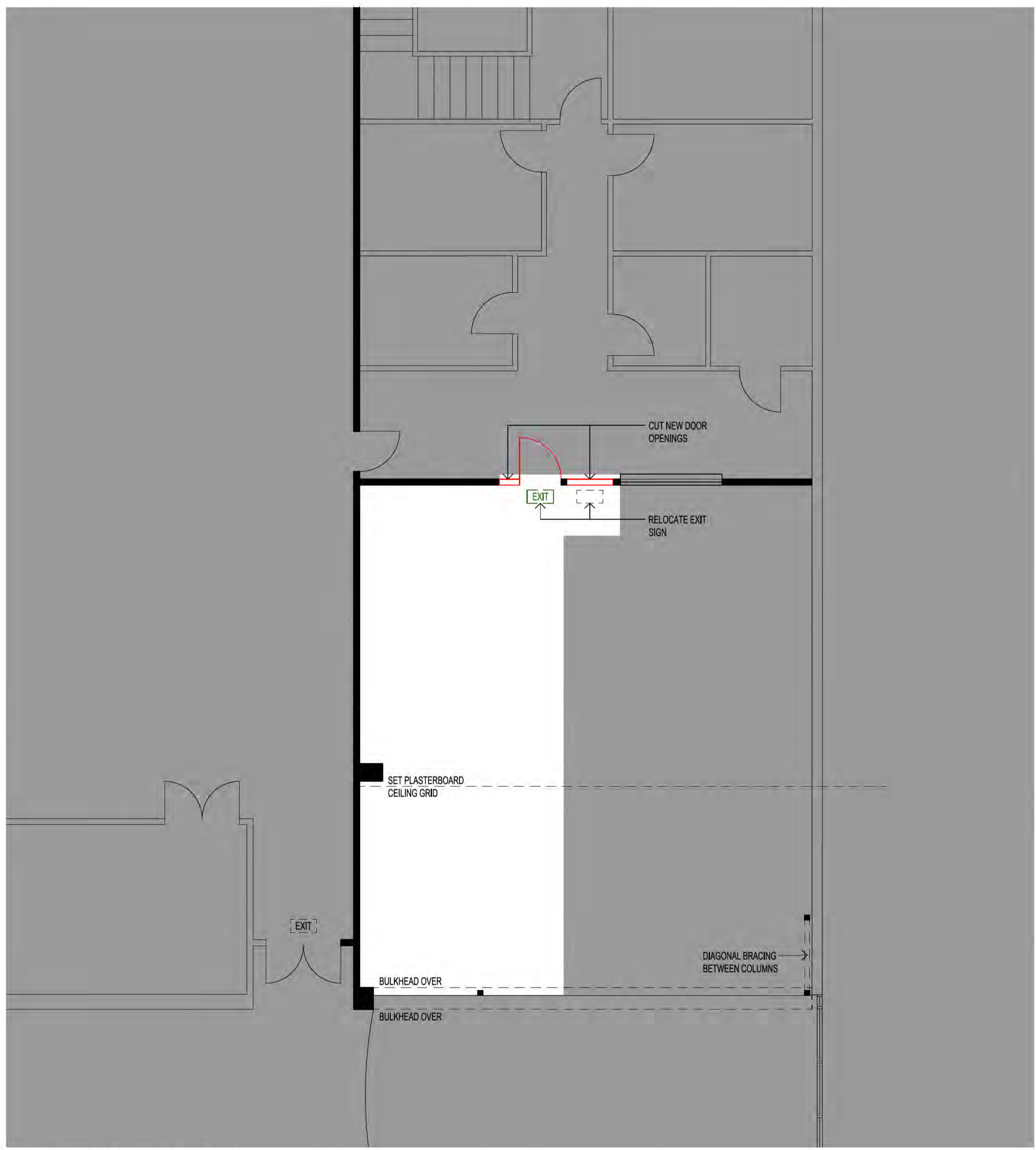
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AREA 1 -
NEW PROPOSED
CAREERS OFFICE

1
KEY PLAN, FIRST FLOOR
NTS



1
FLOOR PLAN, DEMOLITION
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:	DEMOLITION SCOPE SUMMARY:
ITEM TO BE DEMOLISHED	1. COMPLETE ANY REQUIRED ADDITIONAL INVESTIGATIONS (HAZMAT, STRUCTURAL & SERVICES) TO ALLOW FOR A SAFE DEMOLITION.
ITEM TO BE REMOVED AND REUSED	2. MAKE SAVE SERVICES AND TERMINATE REDUNDANT SERVICES
DEMOLISH FLOOR FINISHES (CARPET & TILES) AND PREPARE FOR NEW FINISHES. ALSO DEMOLISH GRID CEILING AND PREPARE FOR NEW GRID CEILING AT MATCHING HEIGHT	3. IDENTIFY ANY STRUCTURAL ELEMENTS PRIOR TO START OF DEMOLITION. IF REQUIRED ENGAGE STRUCTURAL ENGINEER AND FOLLOW STRUCTURAL ENGINEERS INSTRUCTIONS.
AREA OUT OF SCOPE	4. DEMOLISH PARTITIONS, FLOOR FINISHES, JOINERY AS IDENTIFIED AND CEILINGS AS REQUIRED
	5. PREPARE FLOOR SUBSTRATE AS REQUIRED FOR NEW PROPOSED FLOOR FINISH

NOTE:
FOR FULL SCOPE READ IN CONJUNCTION WITH THE OTHER PSP+ DOCUMENTS (PSP+ REPORT, FFF&E SCHEDULE, SAFETY IN DESIGN REGISTER, ETC).

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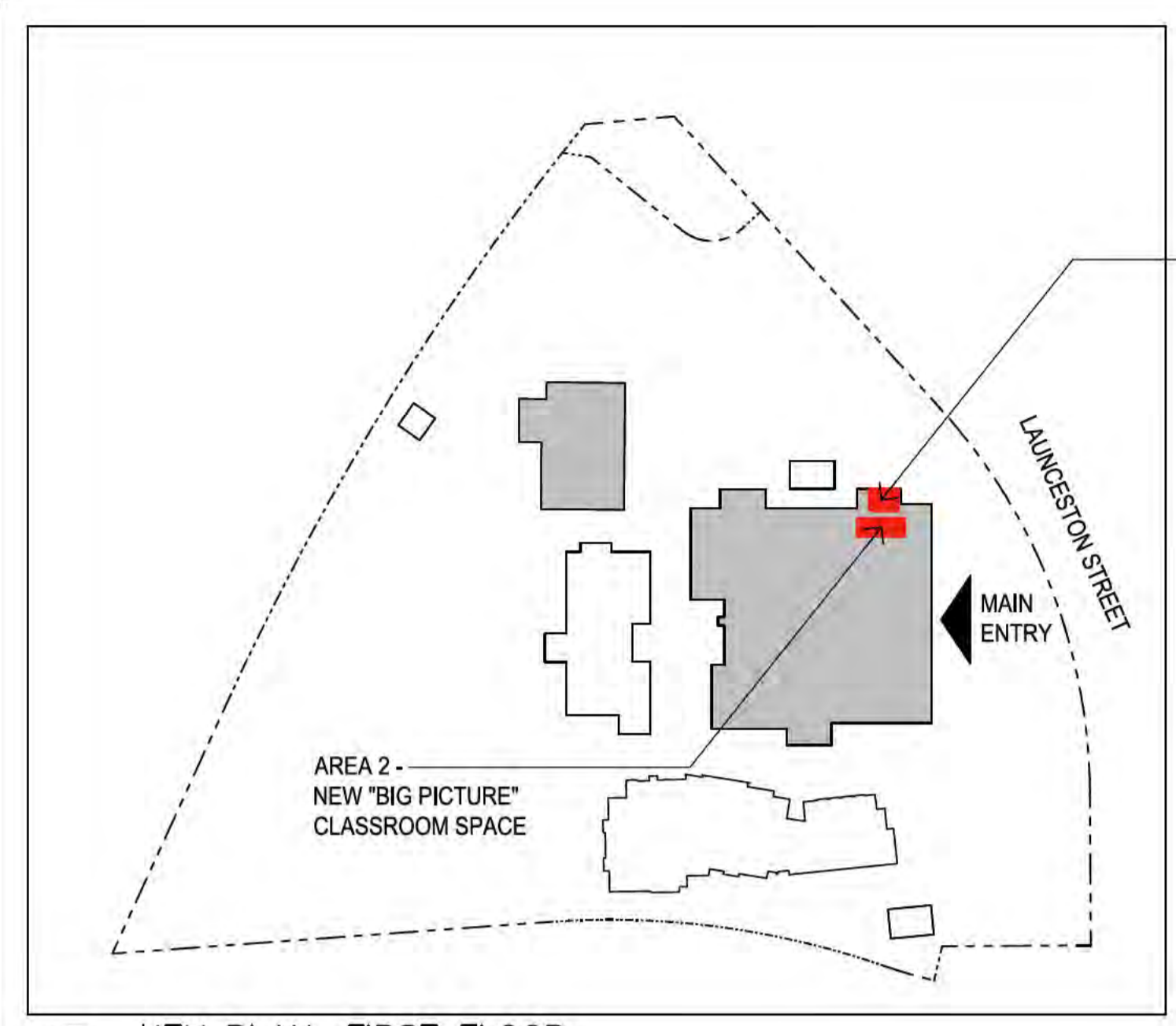
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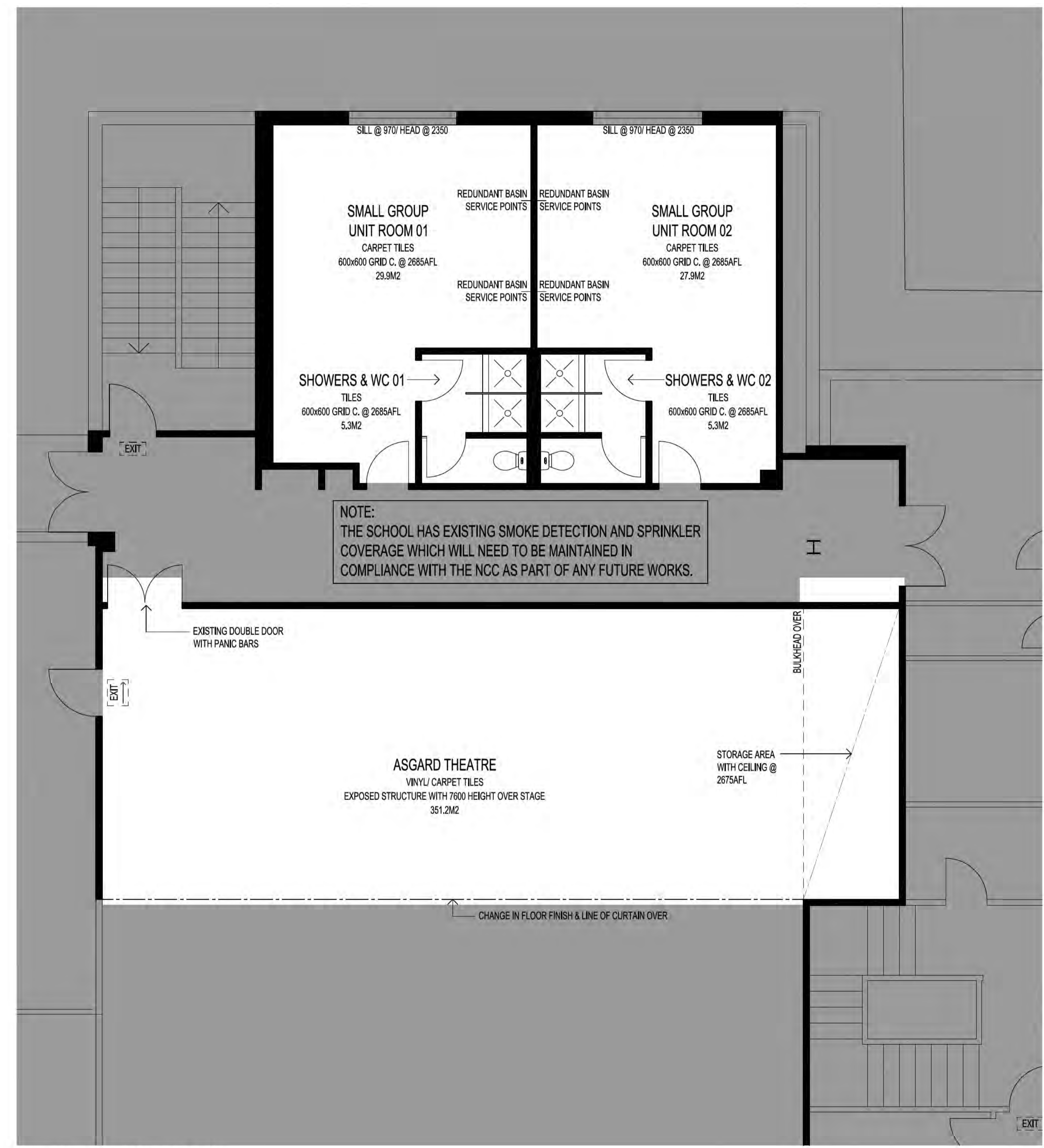
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1
-
KEY PLAN, FIRST FLOOR
NTS



1
-
EXISTING FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:

	EXISTING PARTITION WALL
	EXISTING DOOR
	AREA OUT OF SCOPE

PSP+

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 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILLIP

Drawing Title: AREA 02 & 03: NEW "BIG PICTURE" CLASSROOM SPACES EXISTING

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 Project No.: [] CAD Name: []

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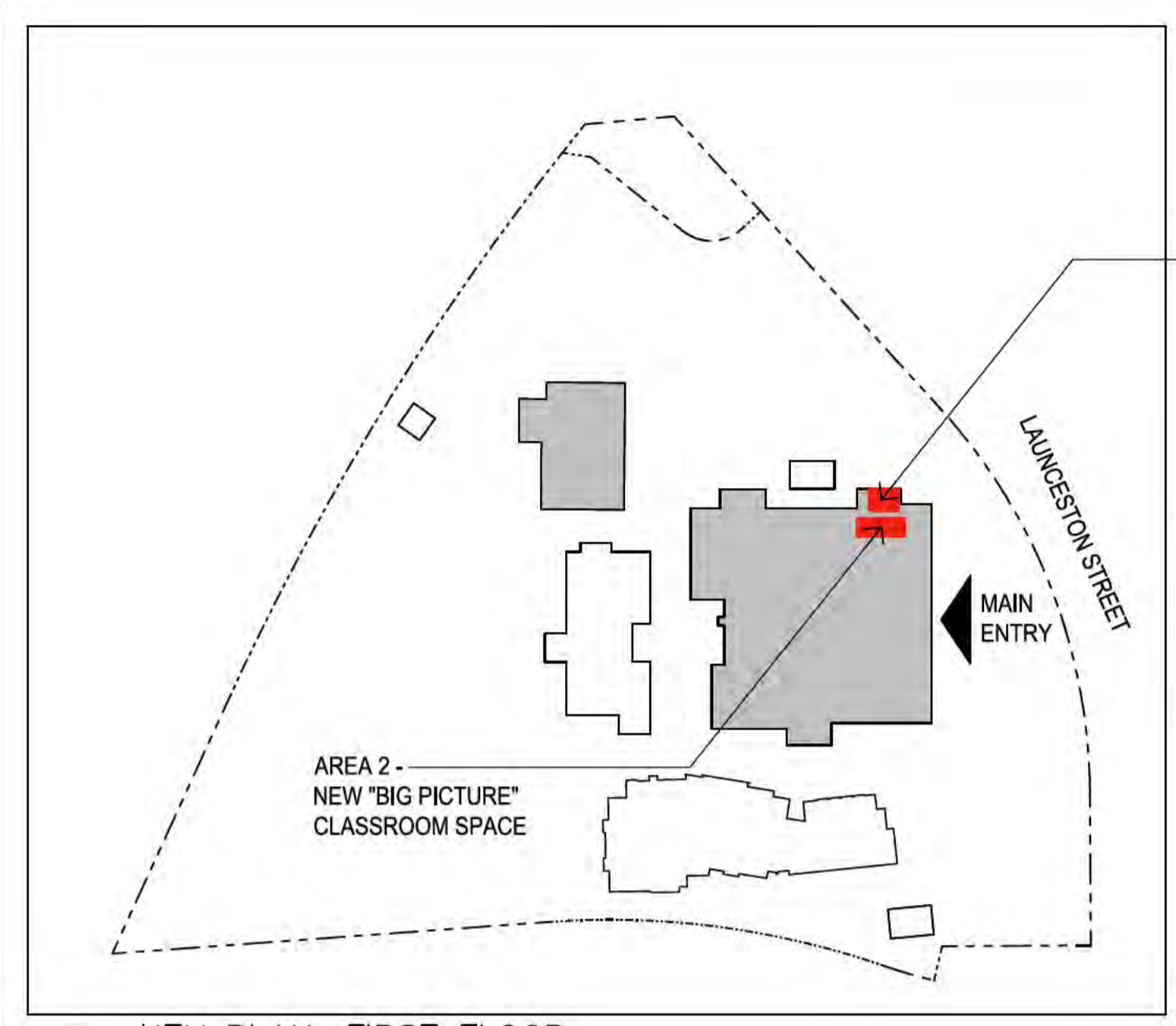
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3	24/08/22	PSP+ ISSUE MINOR AMENDMENTS

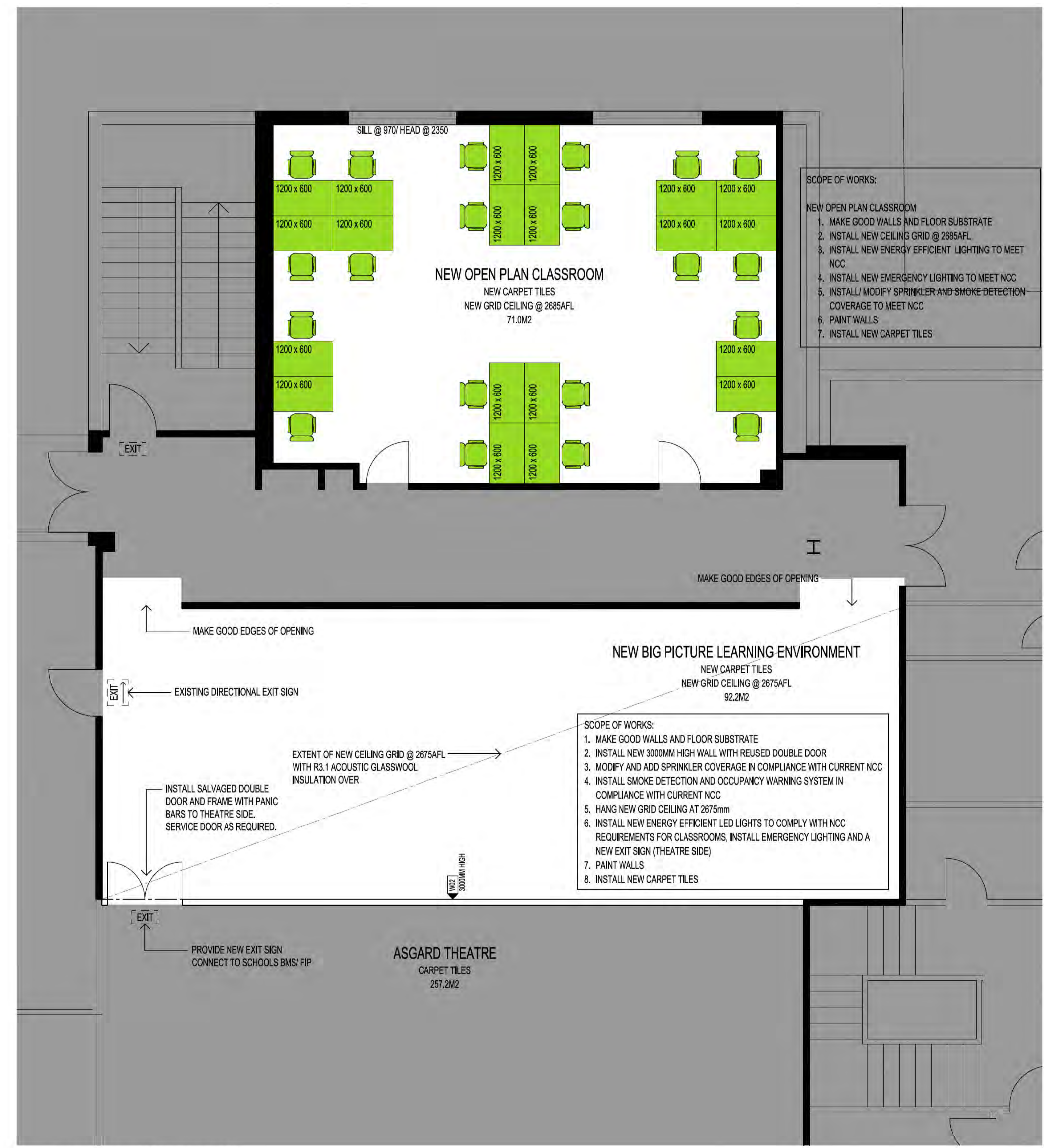


1 KEY PLAN, FIRST FLOOR
NTS

AREA 3 -
NEW "BIG PICTURE"
CLASSROOM SPACE

AREA 2 -
NEW "BIG PICTURE"
CLASSROOM SPACE

LAUNCESTON STREET
MAIN ENTRY



1 PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

SCOPE OF WORKS:

NEW OPEN PLAN CLASSROOM

1. MAKE GOOD WALLS AND FLOOR SUBSTRATE
2. INSTALL NEW CEILING GRID @ 2685AFL
3. INSTALL NEW ENERGY EFFICIENT LIGHTING TO MEET NCC
4. INSTALL NEW EMERGENCY LIGHTING TO MEET NCC
5. INSTALL/ MODIFY SPRINKLER AND SMOKE DETECTION COVERAGE TO MEET NCC
6. PAINT WALLS
7. INSTALL NEW CARPET TILES

SCOPE OF WORKS:

1. MAKE GOOD WALLS AND FLOOR SUBSTRATE
2. INSTALL NEW 3000MM HIGH WALL WITH REUSED DOUBLE DOOR
3. MODIFY AND ADD SPRINKLER COVERAGE IN COMPLIANCE WITH CURRENT NCC
4. INSTALL SMOKE DETECTION AND OCCUPANCY WARNING SYSTEM IN COMPLIANCE WITH CURRENT NCC
5. HANG NEW GRID CEILING AT 2675mm
6. INSTALL NEW ENERGY EFFICIENT LED LIGHTS TO COMPLY WITH NCC REQUIREMENTS FOR CLASSROOMS, INSTALL EMERGENCY LIGHTING AND A NEW EXIT SIGN (THEATRE SIDE)
7. PAINT WALLS
8. INSTALL NEW CARPET TILES

LEGEND:

- AREA OUT OF SCOPE
- EXISTING PARTITION WALL
- NEW PARTITION WALL

DOOR TYPES:

LEAF WIDTH

- 1 INTERNAL DOOR, ALUMINIUM FRAMED GLAZED DOOR
 - 4 HEAVY DUTY HINGES
 - CHAIR RAIL AT 1000mm AFL
 - LEVER HARDWARE TO AS 1428
 - SAFETY GLASS TO AS1298
 - PERIMETER SEALS, DROP SEALS AND THRESHOLD PLATE
 - DOOR STOP
- 2 INTERNAL DOOR, SOLID CORE TIMBER DOOR
 - 4 HEAVY DUTY HINGES
 - LEVER HARDWARE TO AS 1428
 - PERIMETER SEALS, DROP SEALS AND THRESHOLD PLATE
 - DOOR STOP

WALL TYPES:
(NOMINATED FROM THE OUTSIDE TO THE INSIDE OF THE NEW BUILDING)

W01 INTERNAL WALL, LIGHT WEIGHT WALL TO MATCH INTERNAL WALL THICKNESS

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- SINGLE OR DOUBLE METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

W02 INTERNAL WALL, 119MM LIGHT WEIGHT WALL

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- 60MM METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

NOTE:
1. USE SANITARY GRADE PLASTERBOARD AND PROVIDE WALL TILES TO ALL WET AREAS

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CANBERRA COLLEGE

Address:
40 Launceston Street, Phillip ACT 2606

Block Section Division
16 79 PHILLIP

Drawing Title:
AREA 02 & 03:
NEW "BIG PICTURE" CLASSROOM SPACES
PROPOSED

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Reviewed: Verifier:

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Drawing Title:
**AREA 02 & 03:
NEW "BIG PICTURE" CLASSROOM SPACES
DEMOLITION**

Drawn: _____ Director: _____

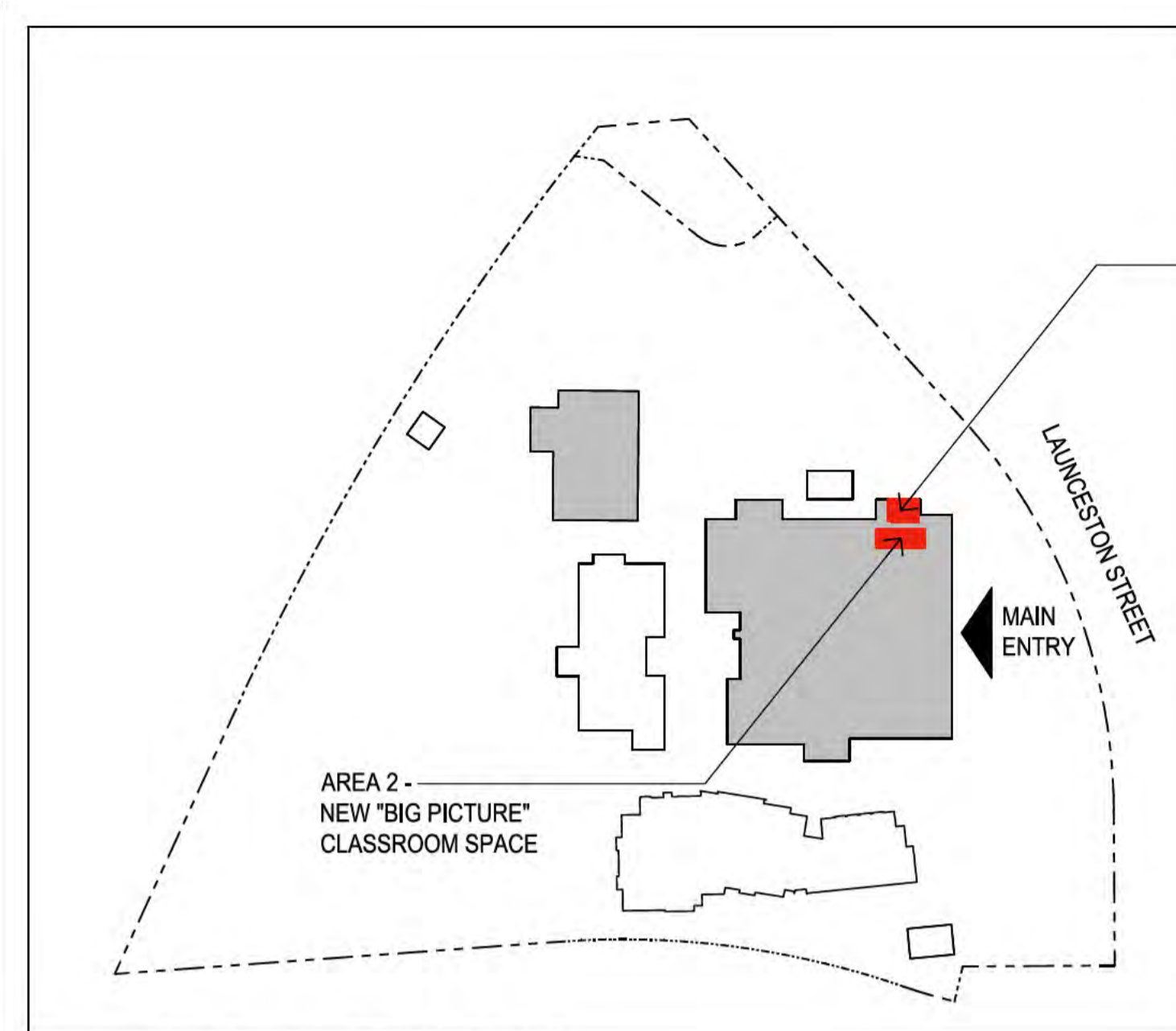
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Project No.:

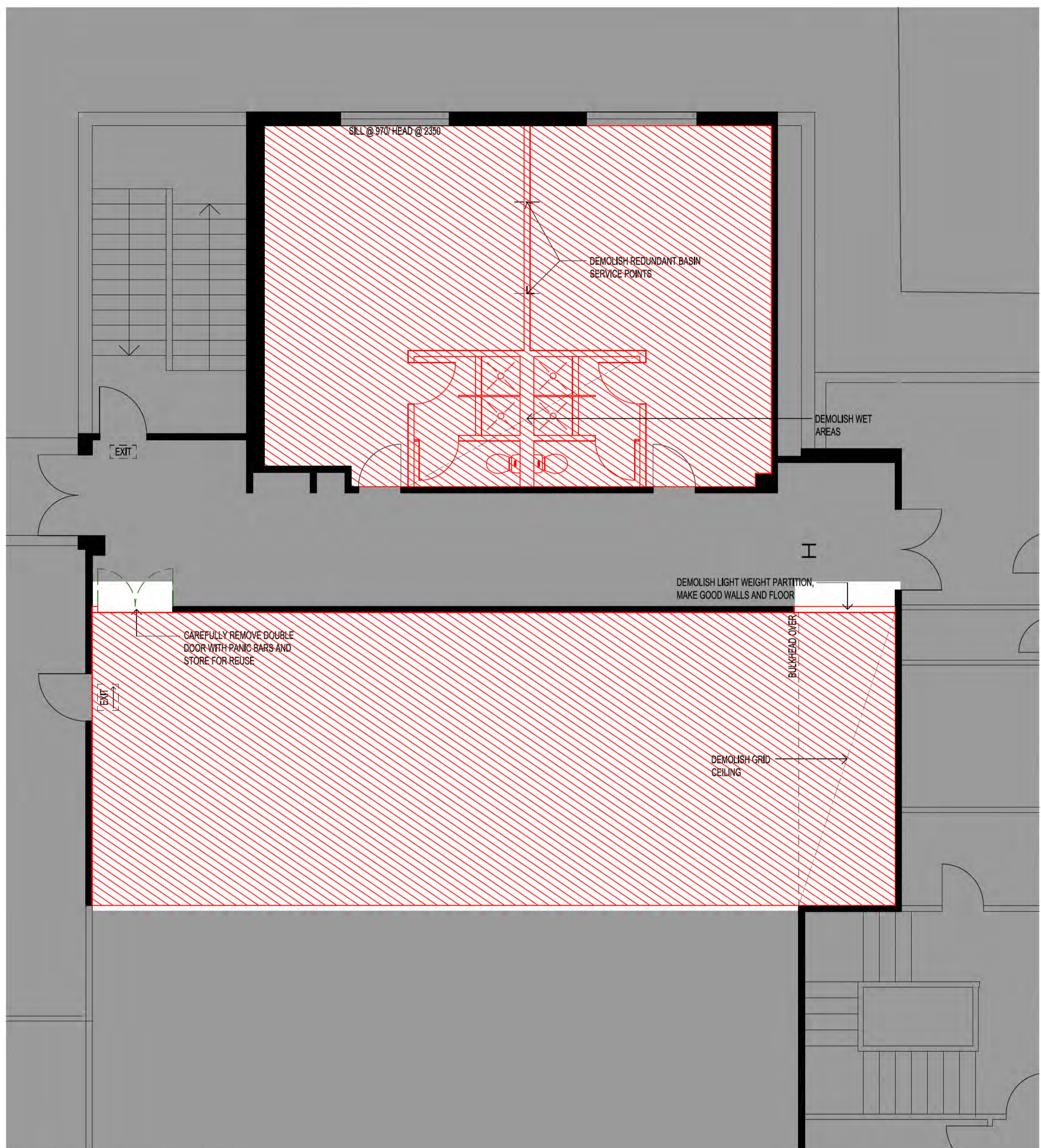
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07/08/22
CAD Name:

QA Reference: 1906.02	Sheet No.:	Amendment:
	A102	2

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1
KEY PLAN, FIRST FLOOR
NTS



1
FLOOR PLAN, DEMOLITION
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:	DEMOLITION SCOPE SUMMARY:
ITEM TO BE DEMOLISHED	1. COMPLETE ANY REQUIRED ADDITIONAL INVESTIGATIONS (HAZMAT, STRUCTURAL & SERVICES) TO ALLOW FOR A SAFE DEMOLITION.
ITEM TO BE REMOVED AND REUSED	2. MAKE SAVE SERVICES AND TERMINATE REDUNDANT SERVICES
DEMOLISH FLOOR FINISHES (CARPET & TILES) AND PREPARE FOR NEW FINISHES. ALSO DEMOLISH GRID CEILING AND PREPARE FOR NEW GRID CEILING AT MATCHING HEIGHT	3. IDENTIFY ANY STRUCTURAL ELEMENTS PRIOR TO START OF DEMOLITION. IF REQUIRED ENGAGE STRUCTURAL ENGINEER AND FOLLOW STRUCTURAL ENGINEERS INSTRUCTIONS.
AREA OUT OF SCOPE	4. DEMOLISH PARTITIONS, FLOOR FINISHES, JOINERY AS IDENTIFIED AND CEILINGS AS REQUIRED
	5. PREPARE FLOOR SUBSTRATE AS REQUIRED FOR NEW PROPOSED FLOOR FINISH
	NOTE: FOR FULL SCOPE READ IN CONJUNCTION WITH THE OTHER PSP+ DOCUMENTS (PSP+ REPORT, FFF&E SCHEDULE, SAFETY IN DESIGN REGISTER, ETC).

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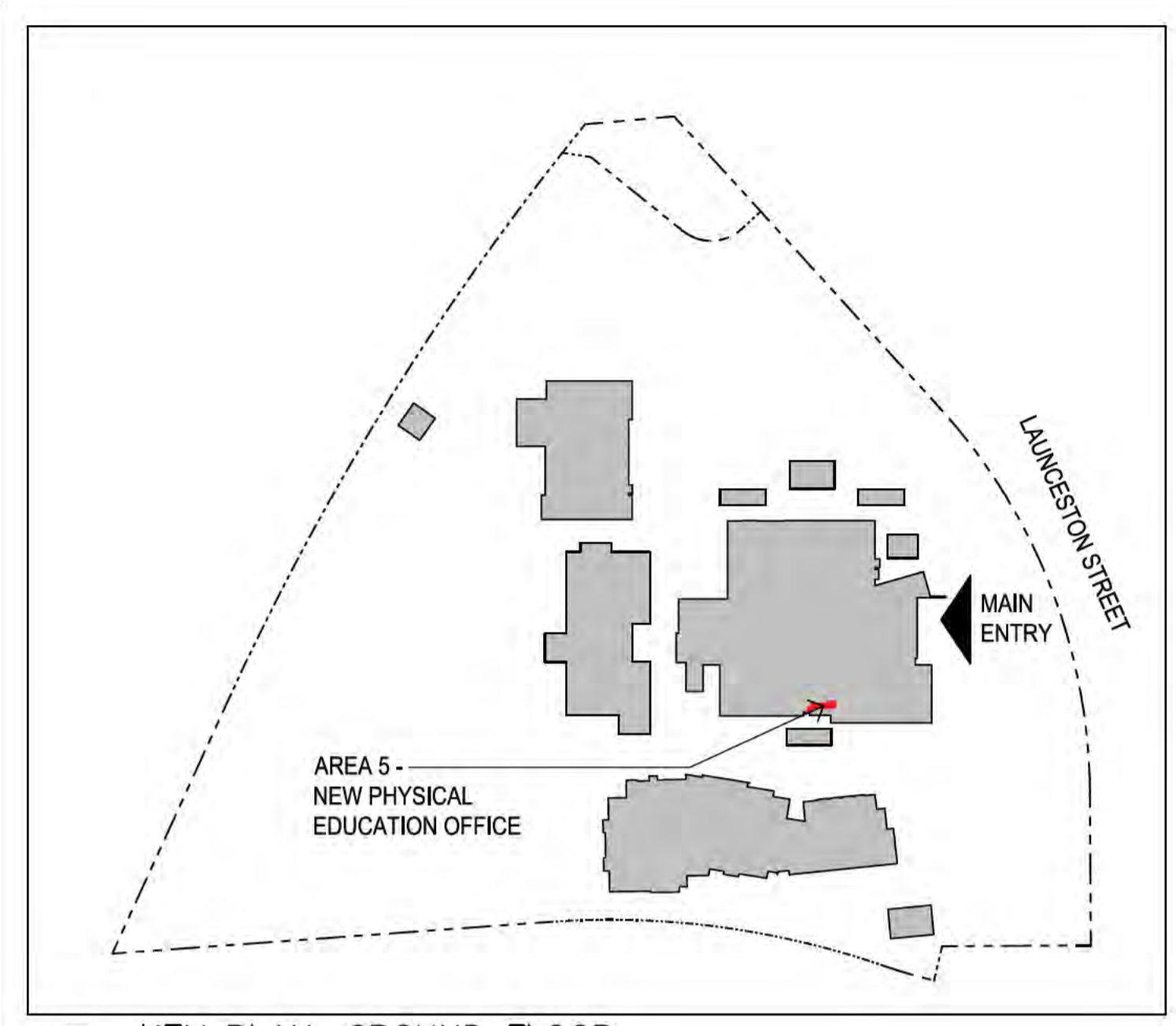
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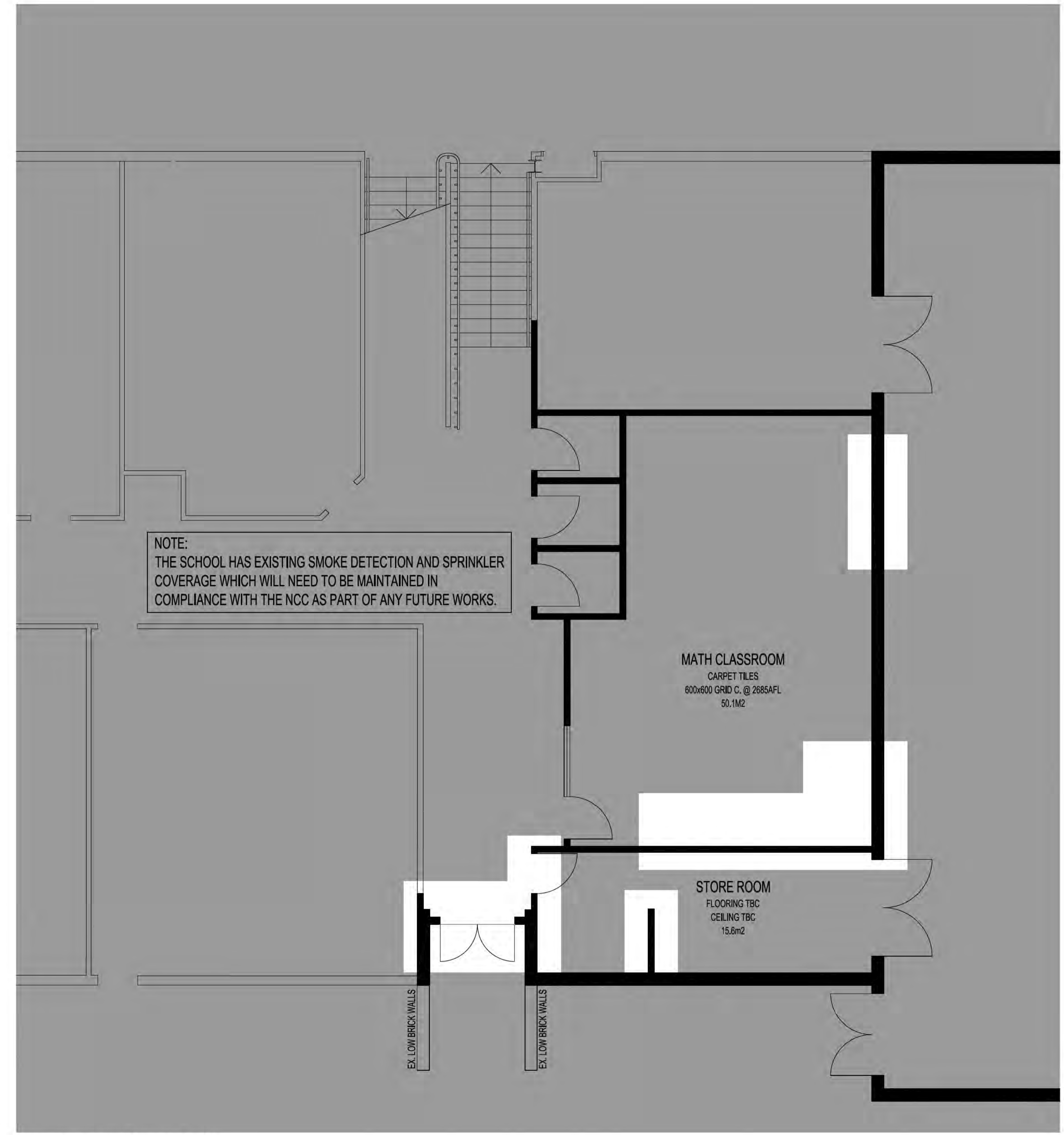
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Issue Register		
Ref.	Date	Issue/Amendment
1	11/08/22	FIRST ISSUE FOR CLIENT REVIEW
2	12/08/22	MINOR AMENDMENTS
3	24/08/22	MINOR AMENDMENTS



1
-
KEY PLAN, GROUND FLOOR
NTS



NOTE:
THE SCHOOL HAS EXISTING SMOKE DETECTION AND SPRINKLER
COVERAGE WHICH WILL NEED TO BE MAINTAINED IN
COMPLIANCE WITH THE NCC AS PART OF ANY FUTURE WORKS.

MATH CLASSROOM
CARPET TILES
600x600 GRID C. @ 2885AFL
50.1M2

STORE ROOM
FLOORING TBC
CEILING TBC
15.6m2

EX. LOW BRICK WALLS

EX. LOW BRICK WALLS

1
-
EXISTING FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:

	EXISTING PARTITION WALL
	EXISTING DOOR
	AREA OUT OF SCOPE

PSP+

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE
DRAWING. ALL DIMENSIONS AND LEVELS TO BE VERIFIED
ON SITE BY CONTRACTOR BEFORE COMMENCING WORK
OR PREPARATION OF SHOP DRAWINGS. WHERE
PROVIDED, DRAWINGS MUST BE READ IN CONJUNCTION
WITH SCHEDULE OF WORK OR SPECIFICATION.

**CANBERRA COLLEGE
UPGRADE WORKS**

Client:
CANBERRA COLLEGE

Address:
40 Launceston Street, Phillip ACT 2606

Block	Section	Division
16	79	PHILLIP

Drawing Title:
AREA 05:
NEW PHYSICAL EDUCATION OFFICE
EXISTING

Director:	Director:
Reviewer:	Verifier:

Scale:	Date:
AS NOTED	07/08/22
Project No.:	CAD Name:

QA Reference:	Sheet No.:	Amendment:
1906.02	A200	3

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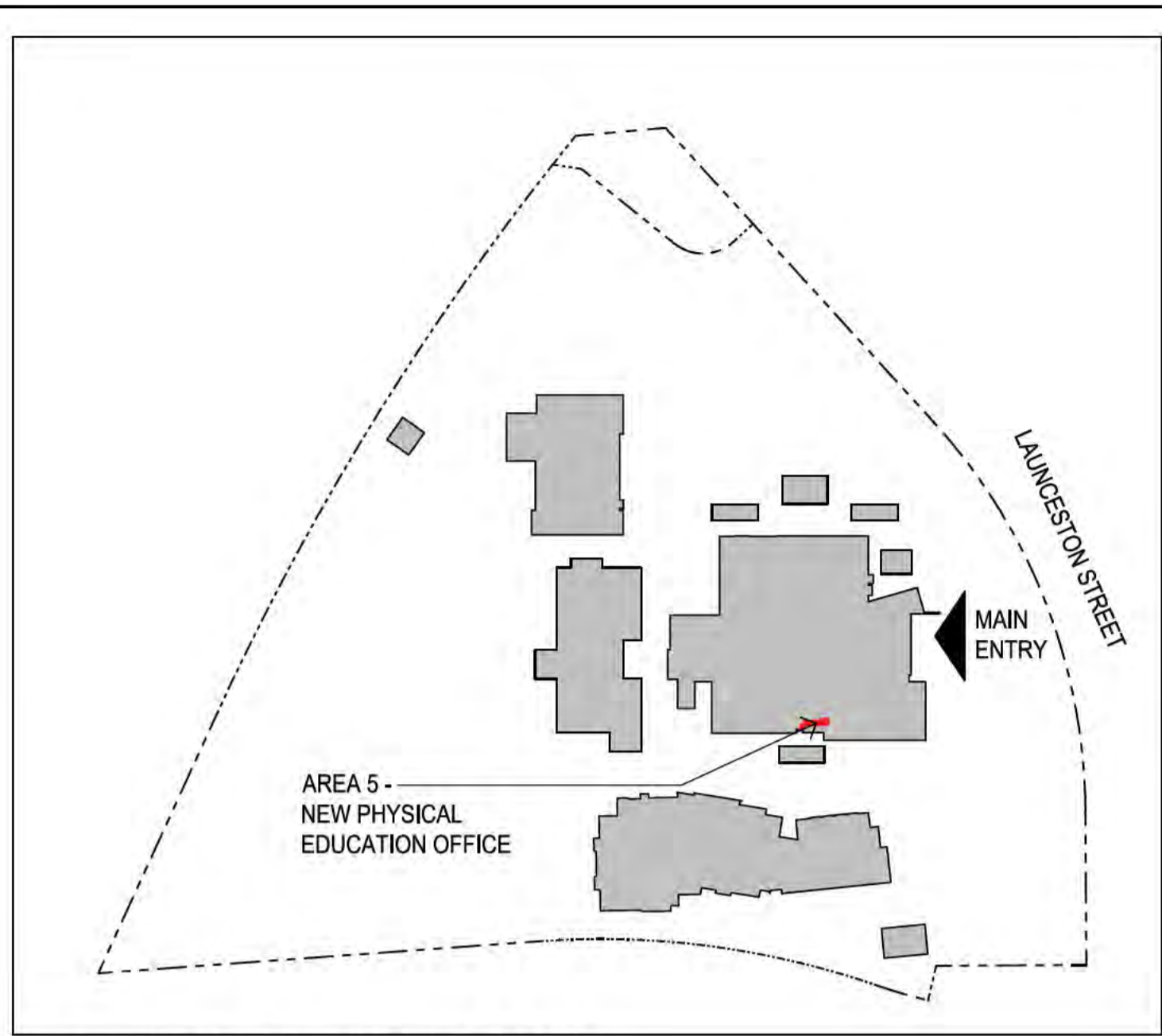
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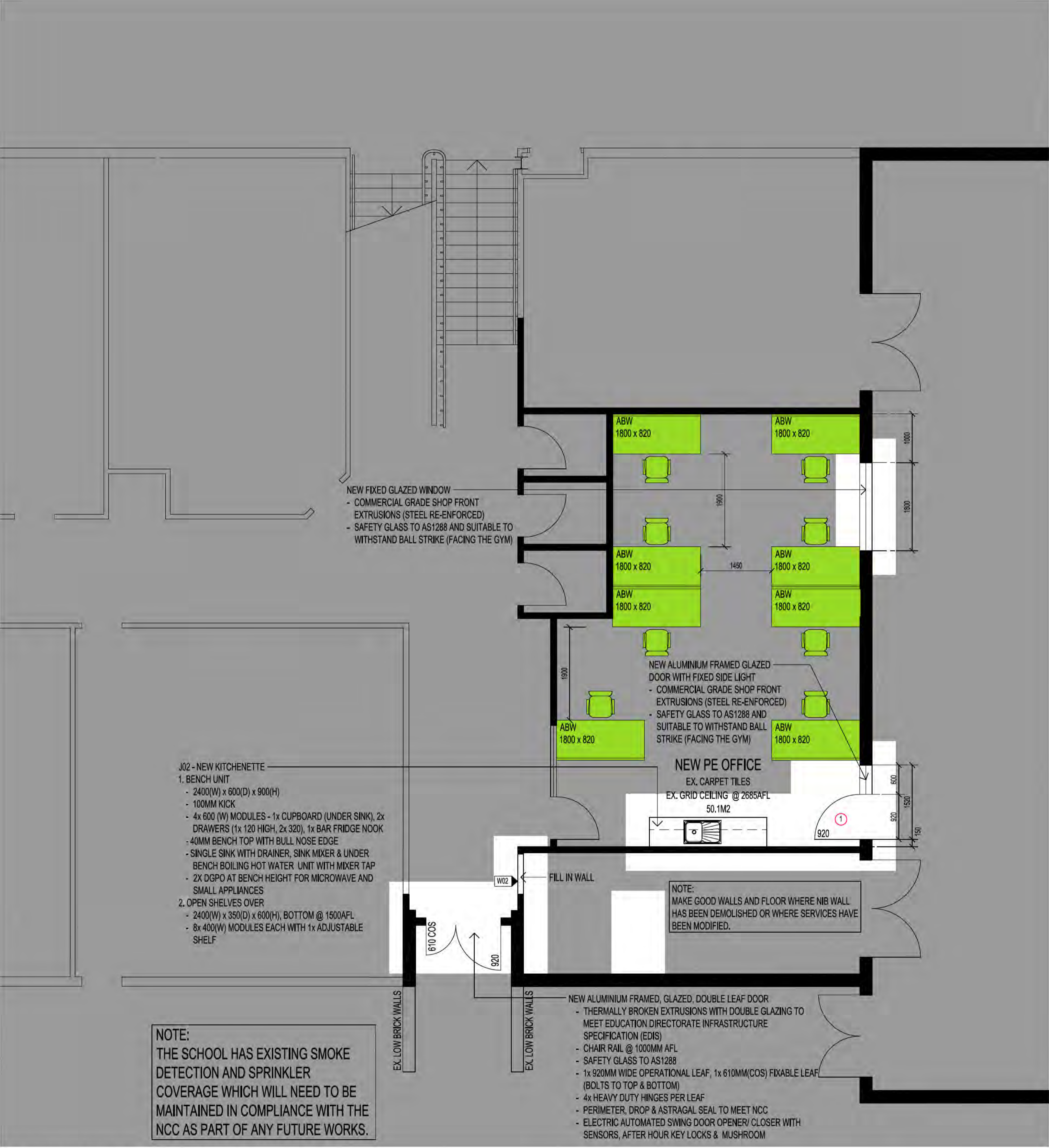
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Issue Register		
Ref.	Date	Issue/Amendment
1	11/08/22	FIRST ISSUE FOR CLIENT REVIEW
2	12/08/22	MINOR AMENDMENTS
3	24/08/22	PSP+ ISSUE MINOR AMENDMENTS



1 KEY PLAN, GROUND FLOOR
NTS



NOTE:
THE SCHOOL HAS EXISTING SMOKE DETECTION AND SPRINKLER COVERAGE WHICH WILL NEED TO BE MAINTAINED IN COMPLIANCE WITH THE NCC AS PART OF ANY FUTURE WORKS.

1 PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:

- AREA OUT OF SCOPE
- EXISTING PARTITION WALL
- NEW PARTITION WALL

DOOR TYPES:

LEAF WIDTH 1 INTERNAL DOOR, ALUMINIUM FRAMED GLAZED DOOR

- 4 HEAVY DUTY HINGES
- CHAIR RAIL AT 1000mm AFL
- LEVER HARDWARE TO AS 1428
- SAFETY GLASS TO AS1288
- PERIMETER SEALS, DROP SEALS AND THRESHOLD PLATE
- DOOR STOP

WALL TYPES:
(NOMINATED FROM THE OUTSIDE TO THE INSIDE OF THE NEW BUILDING)

W01 INTERNAL WALL, LIGHT WEIGHT WALL TO MATCH INTERNAL WALL THICKNESS

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- SINGLE OR DOUBLE METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

W02 INTERNAL WALL, 119MM LIGHT WEIGHT WALL

- 13MM IMPACTCHEK SHEETING, PAINT FINISH
- 80MM METAL STUDS/ R 2.0 GLASS WOOL INSULATION (ACOUSTIC) TO ACHIEVE MIN RW45
- 13MM IMPACTCHEK SHEETING, PAINT FINISH

NOTE:
1. USE SANITARY GRADE PLASTERBOARD AND PROVIDE WALL TILES TO ALL WET AREAS

PSP+

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK OR PREPARATION OF SHOP DRAWINGS. WHERE PROVIDED, DRAWINGS MUST BE READ IN CONJUNCTION WITH SCHEDULE OF WORK OR SPECIFICATION.

CANBERRA COLLEGE UPGRADE WORKS
Client: CANBERRA COLLEGE
Address: 40 Launceston Street, Phillip ACT 2606
Block 16 Section 79 Division PHILLIP
Drawing Title: AREA 05: NEW PHYSICAL EDUCATION OFFICE PROPOSED

Drawn: [] Director: []
Reviewer: [] Verifier: []
Scale: AS NOTED Date: 07/08/22
Project No.: [] CAD Name: []
QA Reference: 1906.02 Sheet No.: A201 Amendment: 3
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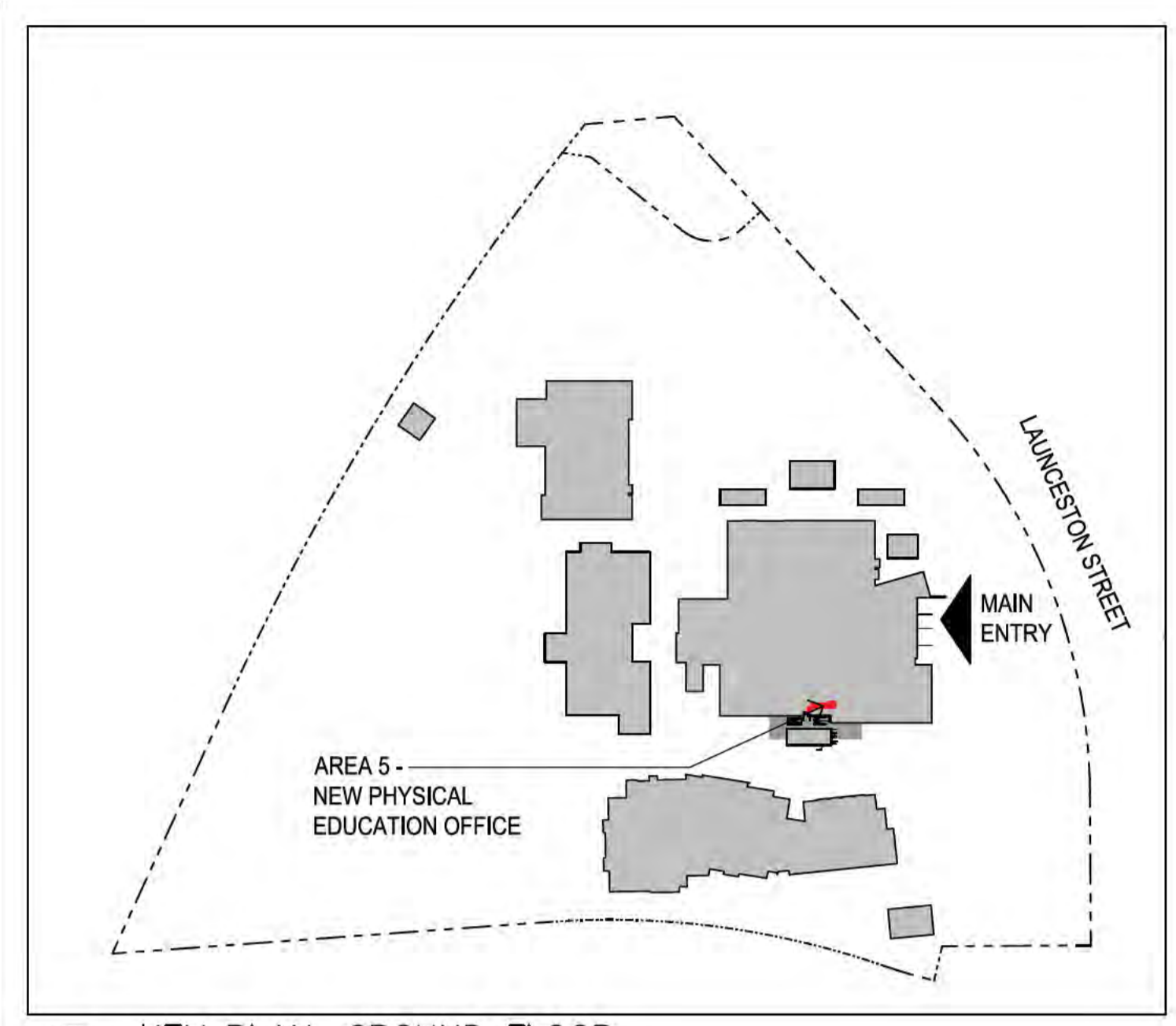
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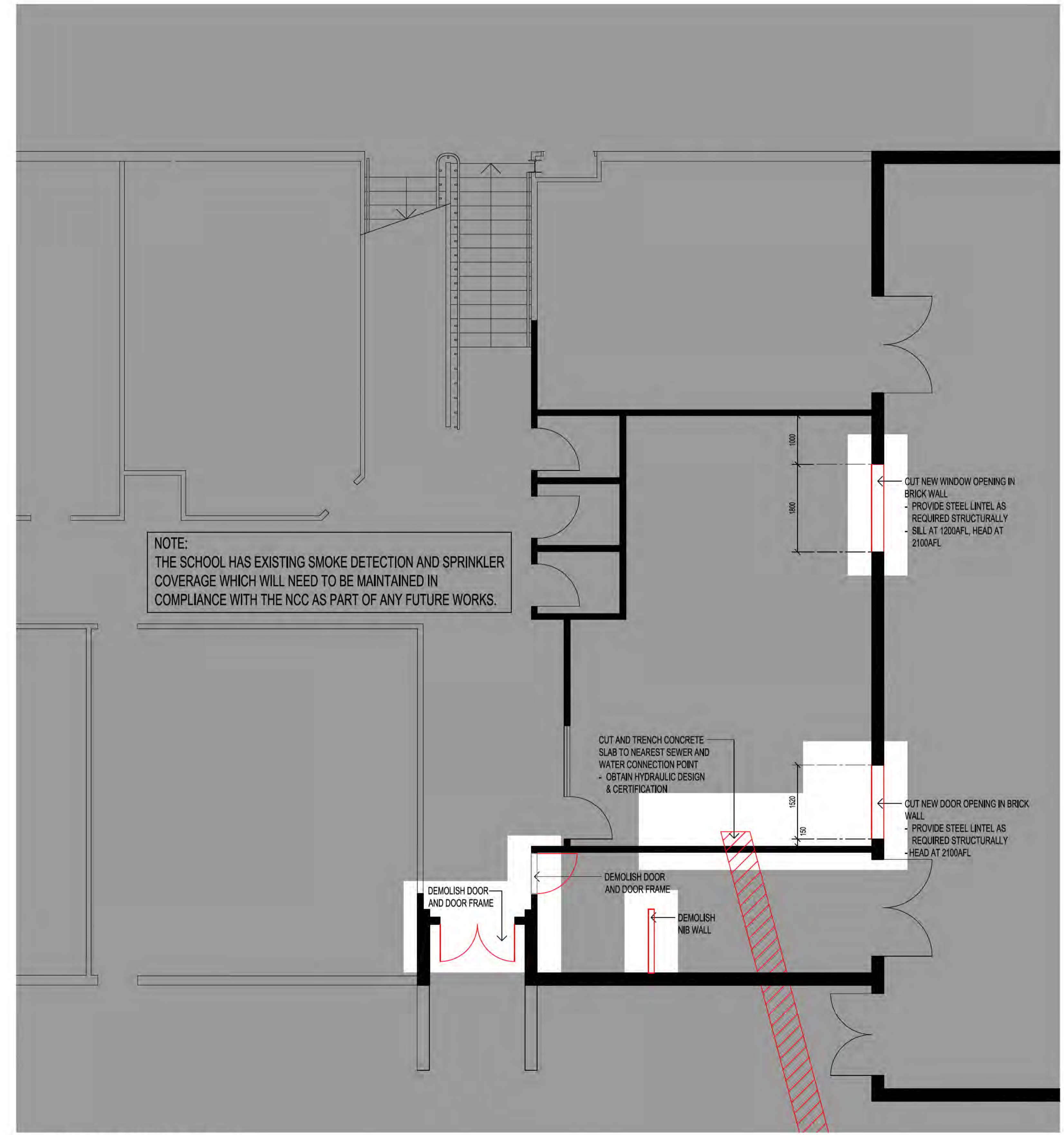
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Issue Register		
Ref.	Date	Issue/Amendment
1	11/08/22	FIRST ISSUE FOR CLIENT REVIEW
2	12/08/22	MINOR AMENDMENTS
3	24/08/22	PSP+ ISSUE MINOR AMENDMENTS



1
-
KEY PLAN, GROUND FLOOR
NTS



1
-
FLOOR PLAN, DEMOLITION
SCALE 1:50 @ A1
SCALE 1:100 @ A3

LEGEND:		DEMOLITION SCOPE SUMMARY:	
	ITEM TO BE DEMOLISHED	1.	COMPLETE ANY REQUIRED ADDITIONAL INVESTIGATIONS (HAZMAT, STRUCTURAL & SERVICES) TO ALLOW FOR A SAFE DEMOLITION.
	ITEM TO BE REMOVED AND REUSED	2.	MAKE SAFE SERVICES AND TERMINATE REDUNDANT SERVICES
	DEMOLISH FLOOR FINISHES (CARPET & TILES) AND PREPARE FOR NEW FINISHES MODIFY UNDER SLAB HYDRAULIC SERVICES AS REQUIRED FOR PROPOSED FITTINGS AND FIXTURES (THIS MIGHTY WILL REQUIRE TRENCHING)	3.	IDENTIFY ANY STRUCTURAL ELEMENTS PRIOR TO START OF DEMOLITION, IF REQUIRED ENGAGE STRUCTURAL ENGINEER AND FOLLOW STRUCTURAL ENGINEERS INSTRUCTIONS.
	AREA OUT OF SCOPE	4.	DEMOLISH PARTITIONS, FLOOR FINISHES, JOINERY AS IDENTIFIED AND CEILINGS AS REQUIRED PREPARE FLOOR SUBSTRATE AS REQUIRED FOR NEW PROPOSED FLOOR FINISH
		5.	PREPARE FLOOR SUBSTRATE AS REQUIRED FOR NEW PROPOSED FLOOR FINISH

NOTE:
FOR FULL SCOPE READ IN CONJUNCTION WITH THE OTHER PSP+ DOCUMENTS (PSP+ REPORT, FFF&E SCHEDULE, SAFETY IN DESIGN REGISTER, ETC).

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CANBERRA COLLEGE
UPGRADE WORKS
Client:
CANBERRA COLLEGE
Address:
40 Launceston Street, Phillip ACT 2606
Block Section Division
16 79 PHILLIP

Drawing Title:
AREA 05:
NEW PHYSICAL EDUCATION OFFICE
DEMOLITION
Drawn: Director:
Reviewer: Verifier:
Scale: AS NOTED Date: 07/08/22
Project No.: CAD Name:

QA Reference: 1906.02 Sheet No.: A202 Amendment: 3
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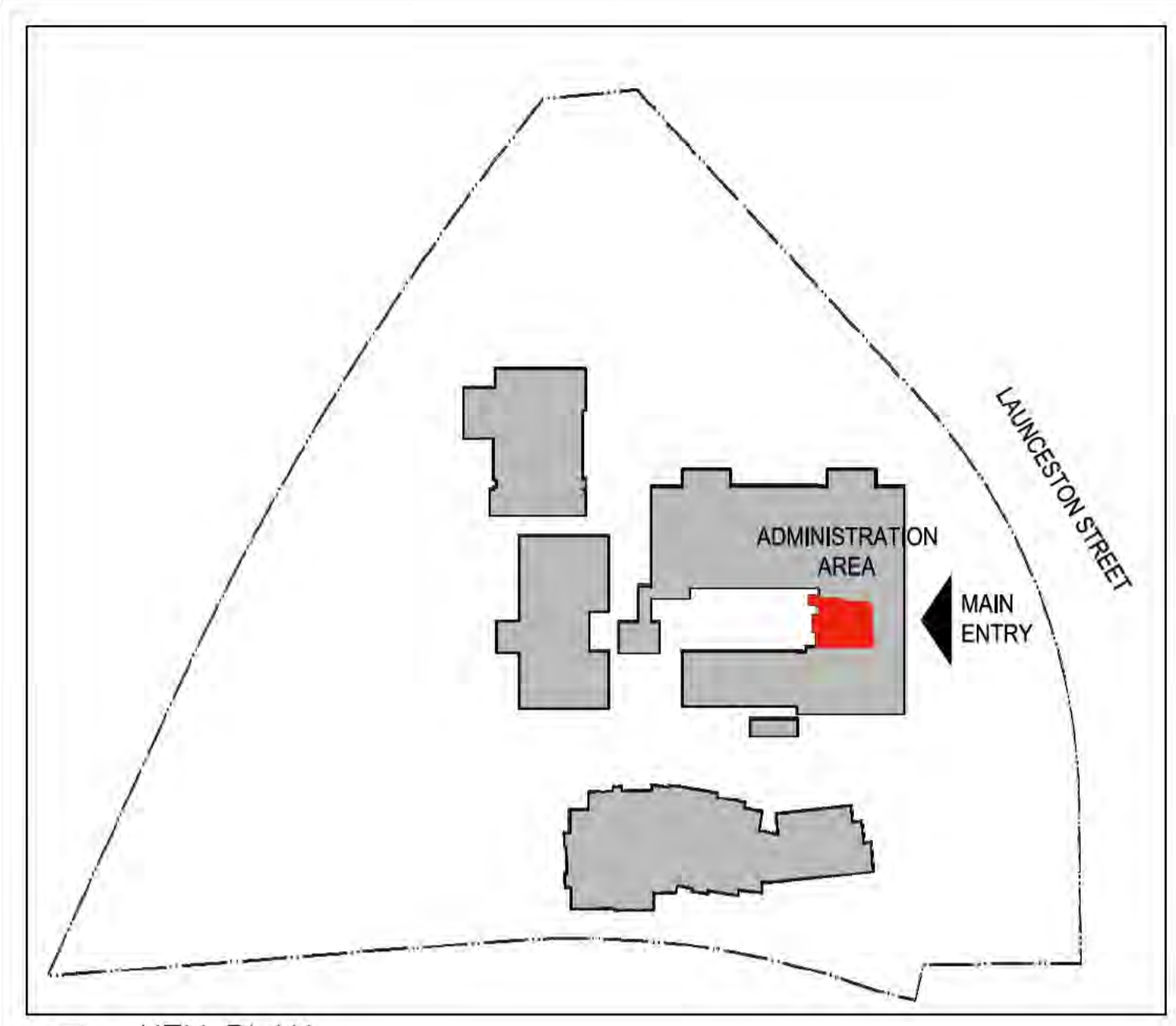
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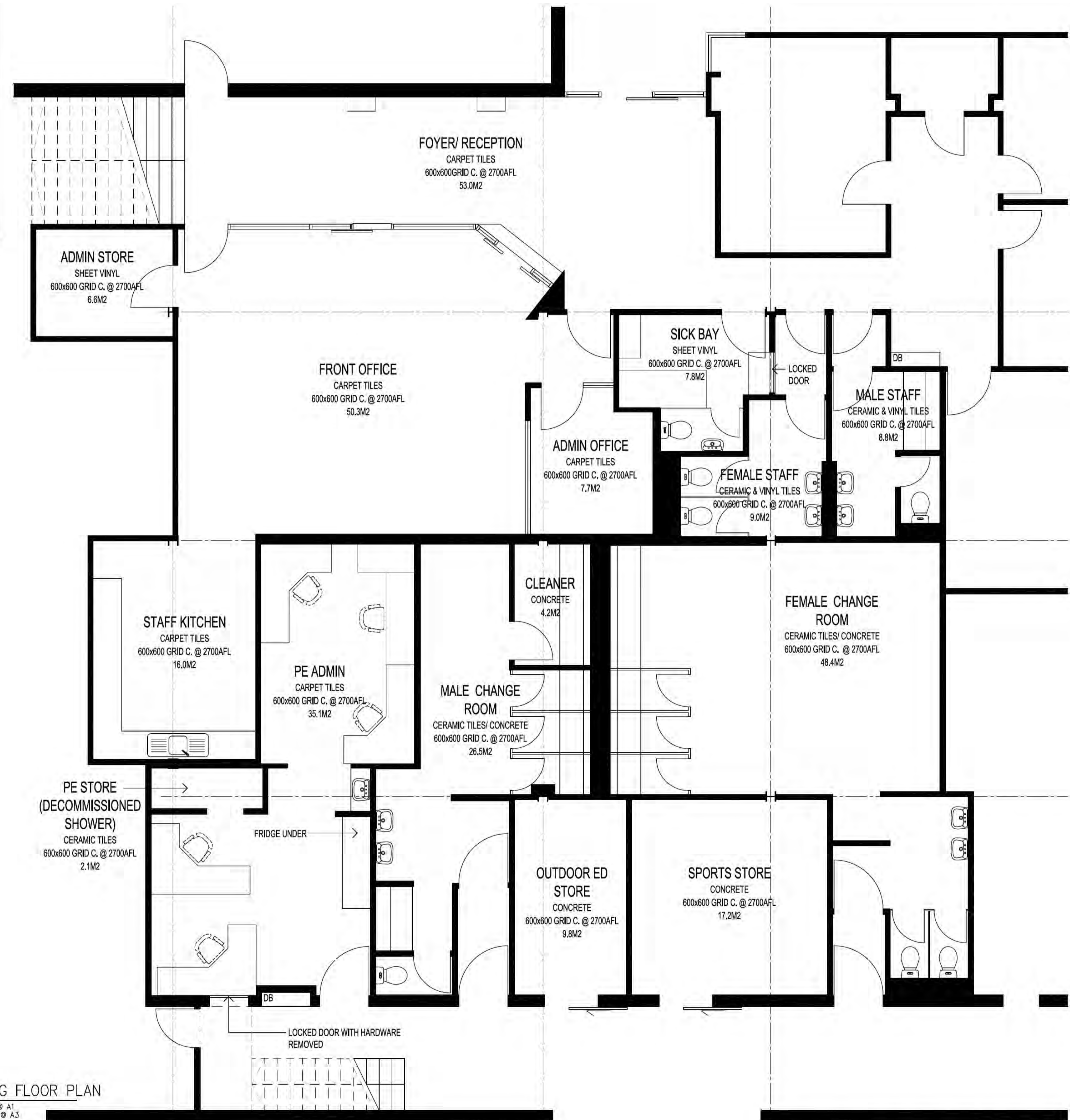
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Issue Register		
Ref.	Date	Issue/Amendment
1	15/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
3	20/08/19	MINOR AMENDMENTS
	03/09/19	SIGN OFF ISSUE



1
KEY PLAN
NTS



1
EXISTING FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

PSP+

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CANBERRA COLLEGE UPGRADE WORKS
 Client: ama Projects on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block: 16 Section: 79 Division: PHILIP

Drawing Title: ADMINISTRATION AREA EXISTING FLOOR PLAN

Drawn: [Redacted] Director: [Redacted]
 Reviewed: [Redacted] Verifier: [Redacted]
 Scale: AS NOTED Date: 15/07/19
 Project No.: [Redacted] CAD Name: [Redacted]
 QA Reference: 1906.01 Sheet No.: A050 Amendment: 3
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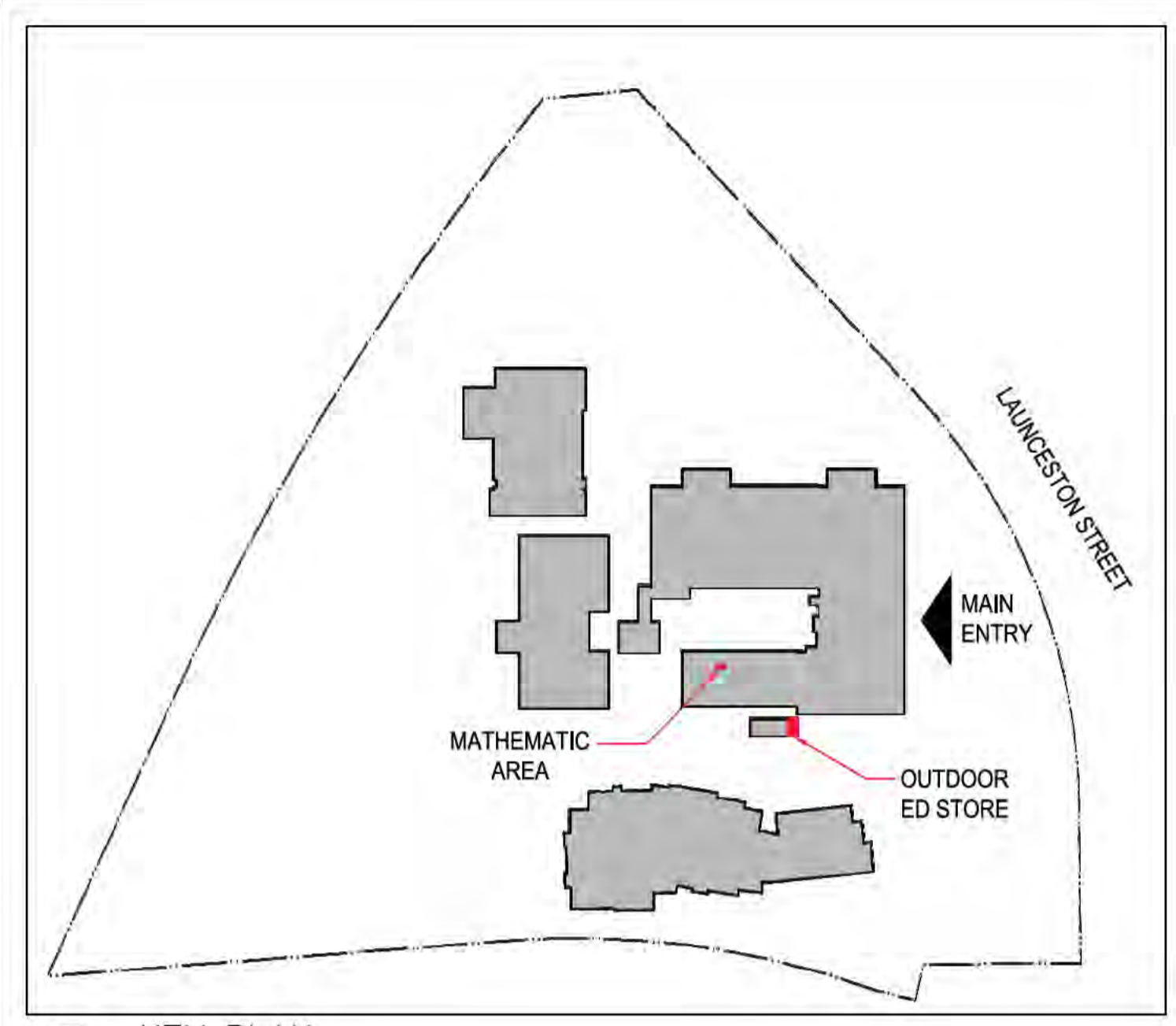
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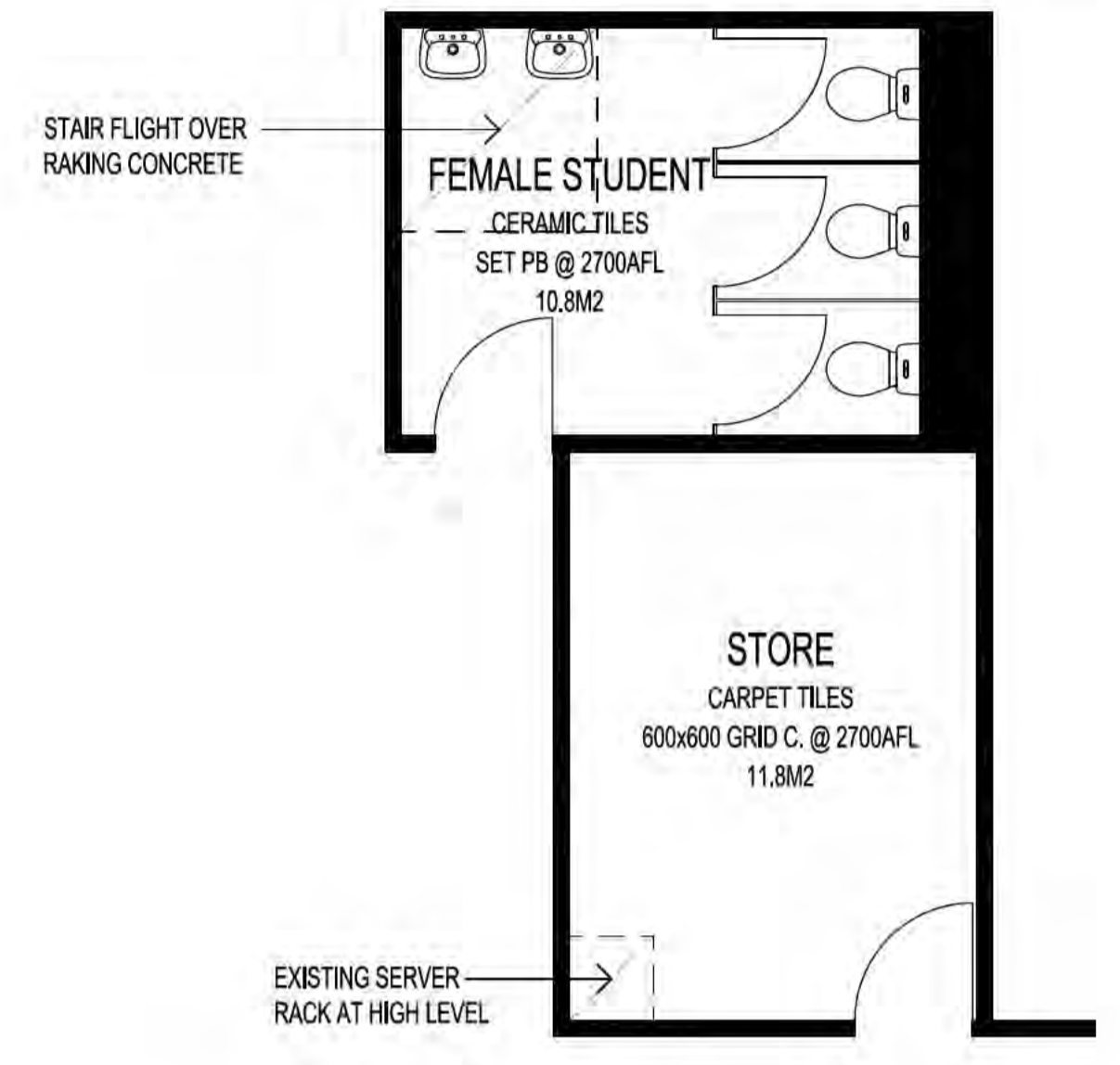
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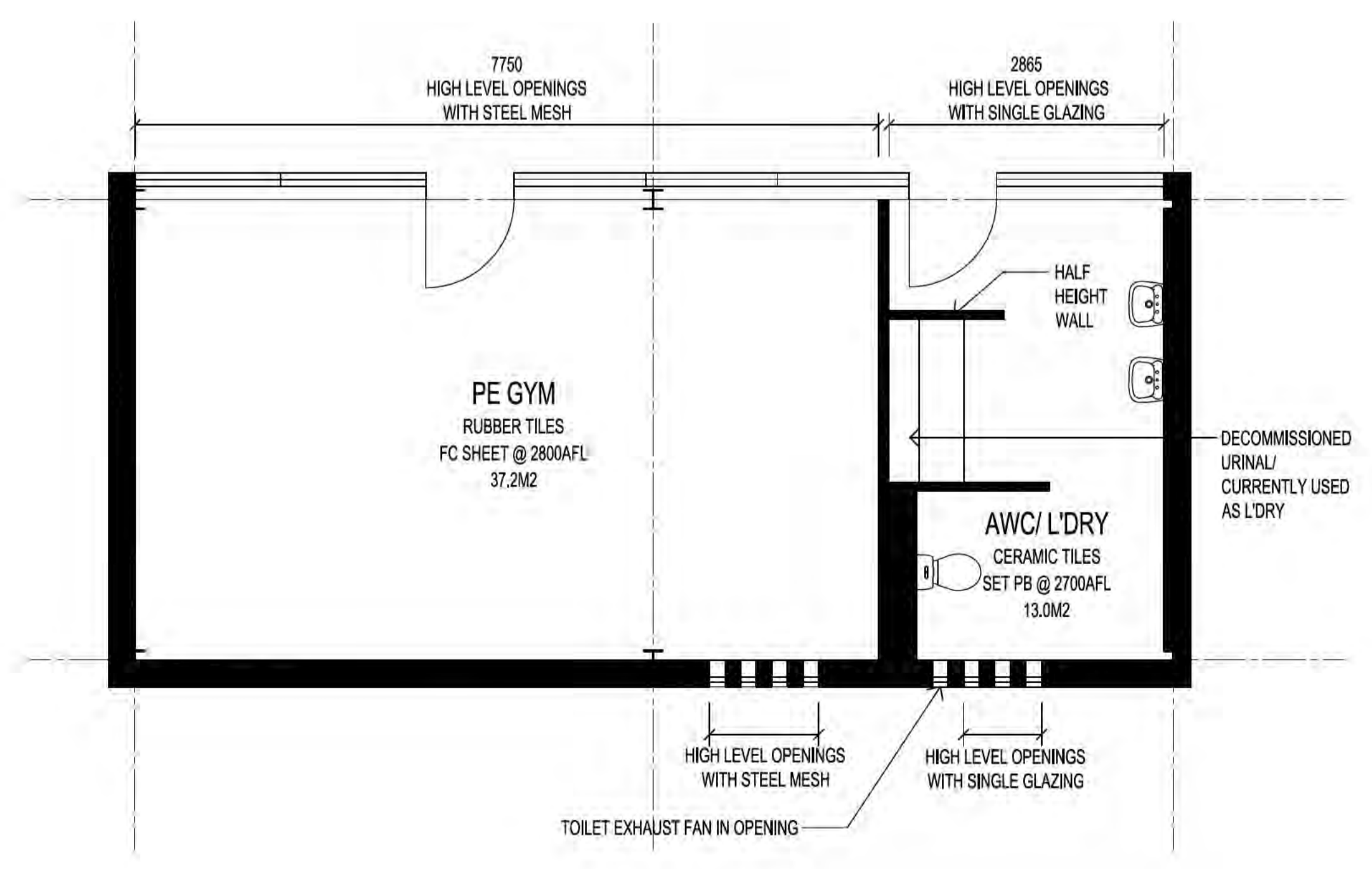
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1
KEY PLAN
NTS



1
MATHEMATICS AREA, EXISTING FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3



2
OUTDOOR ED STORE, EXISTING FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3



Issue Register		
Ref.	Date	Issue/Amendment
1	15/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
	03/09/19	SIGN OFF ISSUE

PSP+

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CANBERRA COLLEGE UPGRADE WORKS
 Client: ama Projects on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILIP

Drawing Title: **MATHEMATICS AREA/ OUTDOOR ED STORE EXISTING FLOOR PLAN**

Drawn: [Redacted] Director: [Redacted]
 Designer: [Redacted] Verifier: [Redacted]

Scale: AS NOTED Date: 15/07/19
 Project No.: [Redacted] CAD Name: [Redacted]

QA Reference: 1906.01 Sheet No.: A051 Amendment: 2
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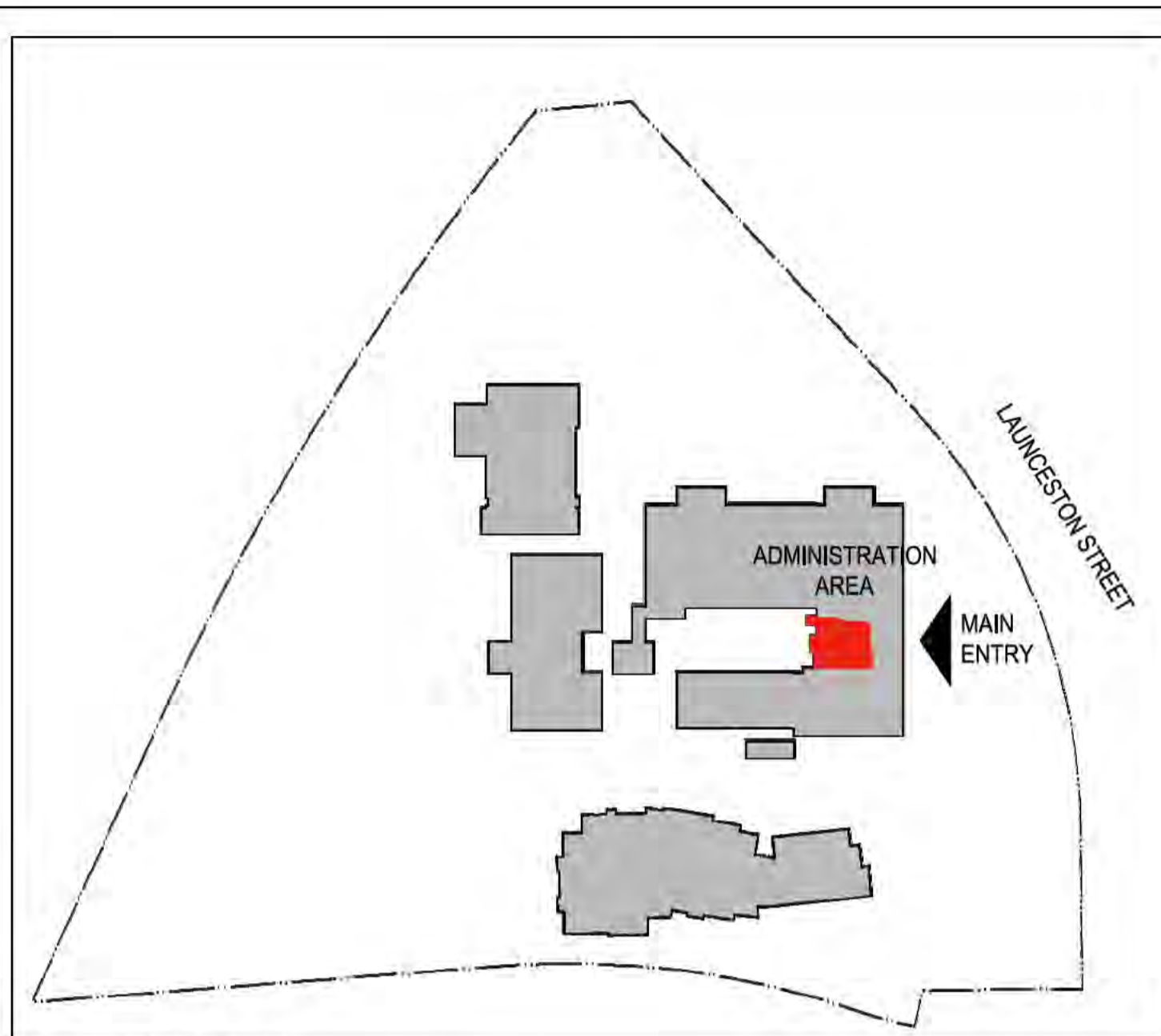
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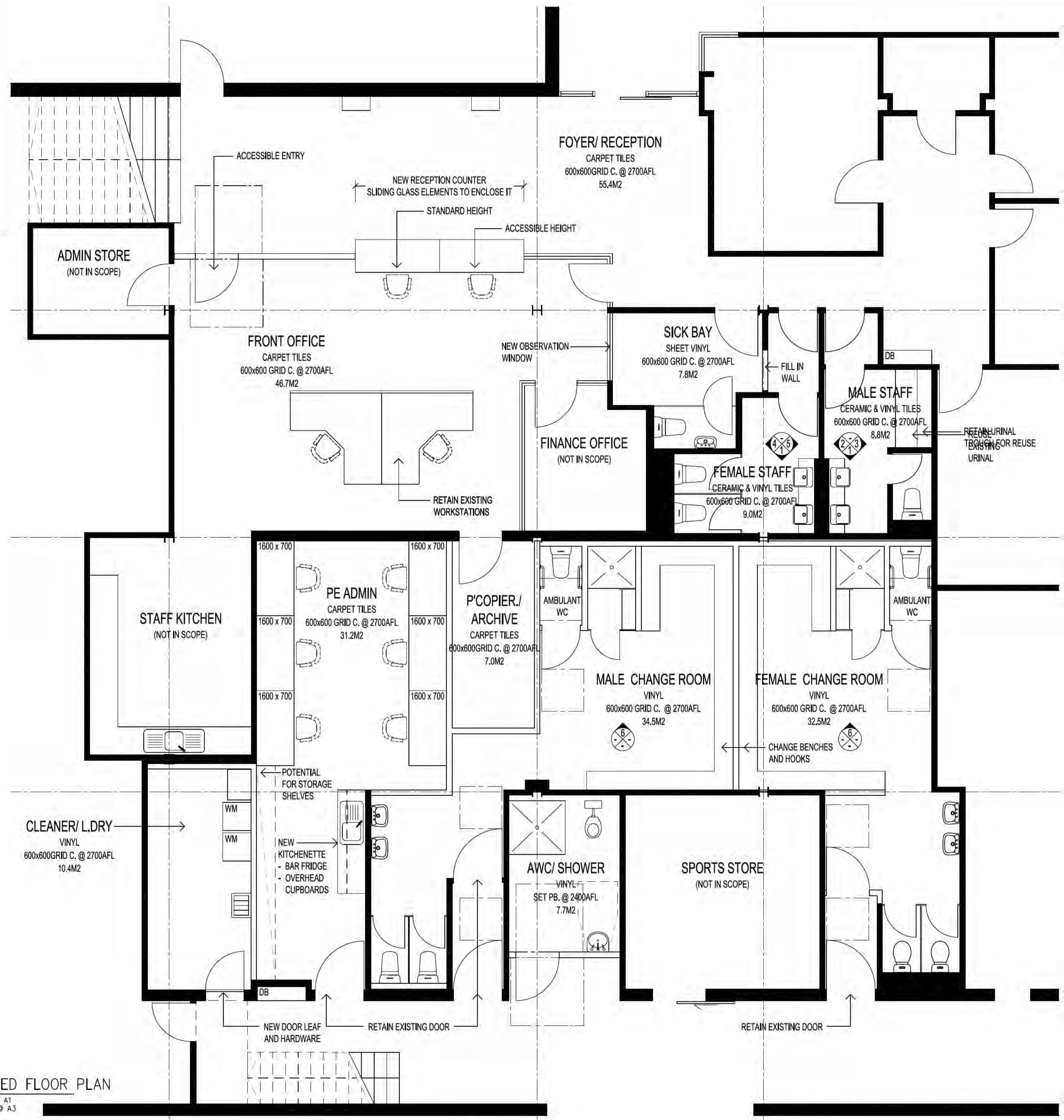
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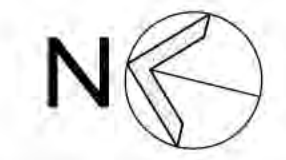


1 KEY PLAN
NTS

- NOTES:**
FOUR (4) PACKAGES:
- ADMIN AREA STAFF TOILETS**
 - MALE STAFF TOILET - TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - FEMALE STAFF TOILET - TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - SICK BAY - NEW OBSERVATION WINDOW FROM ADMIN OFFICE, TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - MATHEMATICS AREA:**
 - NEW UNISEX AMBULANT STAFF TOILET - TAKING UP PART OF THE STORE ROOM, ONE(1) BASIN, ONE (1) TOILET PAN, AMBULANT GRAB RAILS, VINYL FLOORING AND WALL TILING TO DOOR HEIGHT
 - GYM CHANGE AREAS:**
 - MALE AND FEMALE CHANGE ROOMS - CREATION OF TWO "IDENTICAL AND INTERCHANGEABLE" CHANGE AREAS AND A TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - NEW AWC/ SHOWER - KEYED UNISEX FACILITY FOR STAFF USE (IF REQUIRED CAN ALSO BE USED BY STUDENT WITH SPECIAL NEEDS), SHOULD PROVIDE SUFFICIENT SPACE TO ACCOMMODATE A MOBILE CHANGE TABLE IN SHOWER SPACE
 - NEW CLEANER STORE/ LAUNDRY -
 - RECONFIGURED PE ADMIN AREA - SPACE FOR FIVE(6) 1600x700 STRAIGHT WORKSTATIONS, SMALL KITCHENETTE WITH OVERHEADS AND OPPORTUNITY FOR STORAGE SHELVING
 - NEW PHOTOCOPIER/ ARCHIVE ROOM - ADDITIONAL UTILITY SPACE TO ADMIN AREA
 - NEW OUTDOOR EDUCATION STORE (OUTSIDE):**
 - AEC/LAUNDRY AREA - COMPLETE STRIP AND TERMINATION OF HYDRAULIC SERVICES, GENERAL MAKE GOOD TO CREATE A SECURE STORE FOR OUTDOOR EDUCATION EQUIPMENT



1 PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3



Issue Register		
Ref.	Date	Issue/Amendment
1	19/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
3	19/08/19	INTERNAL ELEVATION TAGS ADDED
3	20/08/19	AMENDMENTS AS PER MEETING WITH STAKEHOLDERS (1x SHOWER PER CHANGE ROOM, ADDITIONAL CHANGE BENCHES, VANITIES WITH STORAGE TO FRONT STAFF ARENIES)
4	03/09/19	SIGN OFF ISSUE

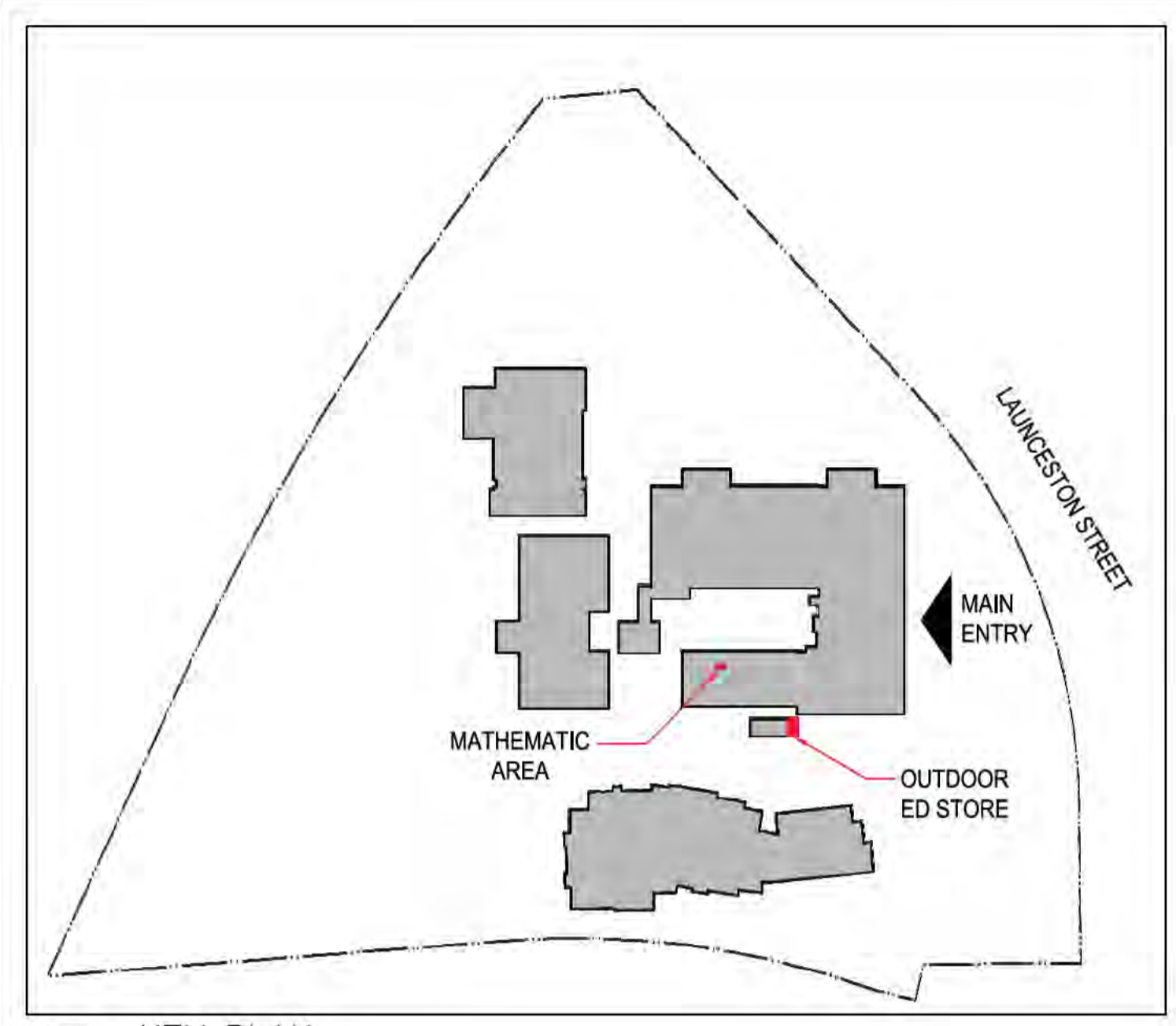
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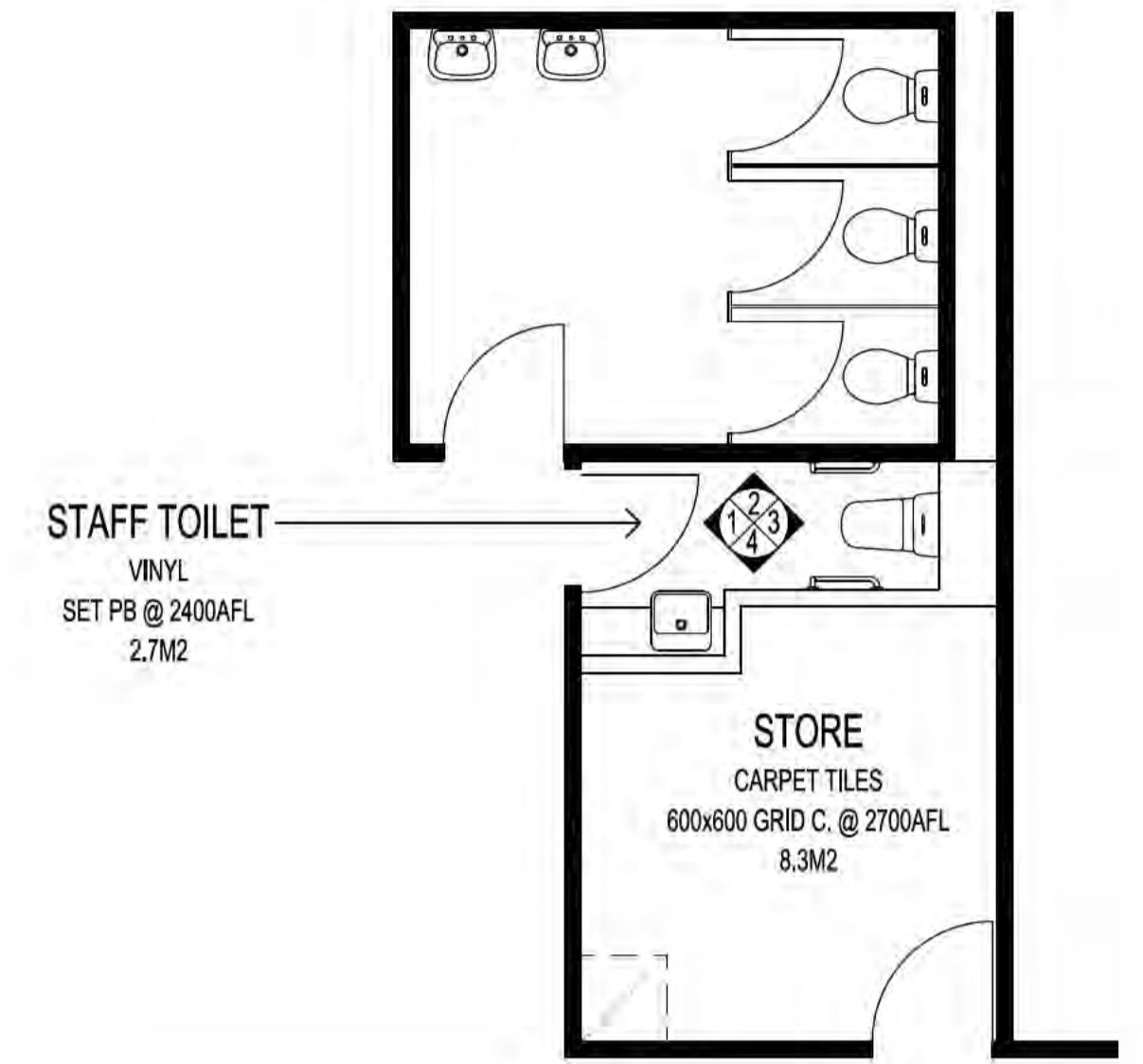
CANBERRA COLLEGE UPGRADE WORKS
Client: ama Projects on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
Address: 40 Launceston Street, Phillip ACT 2606
Block 16 Section 79 Division PHILLIP

Drawing Title: ADMINISTRATION AREA PROPOSED FLOOR PLAN

Drawn: [Signature] Director: [Signature]
Reviewed: [Signature] Verifier: [Signature]
Date: 15/07/19
Project No.: [Number] CAD Name: [Name]
QA Reference: 1906.01 Sheet No.: A150 Amendment: 4
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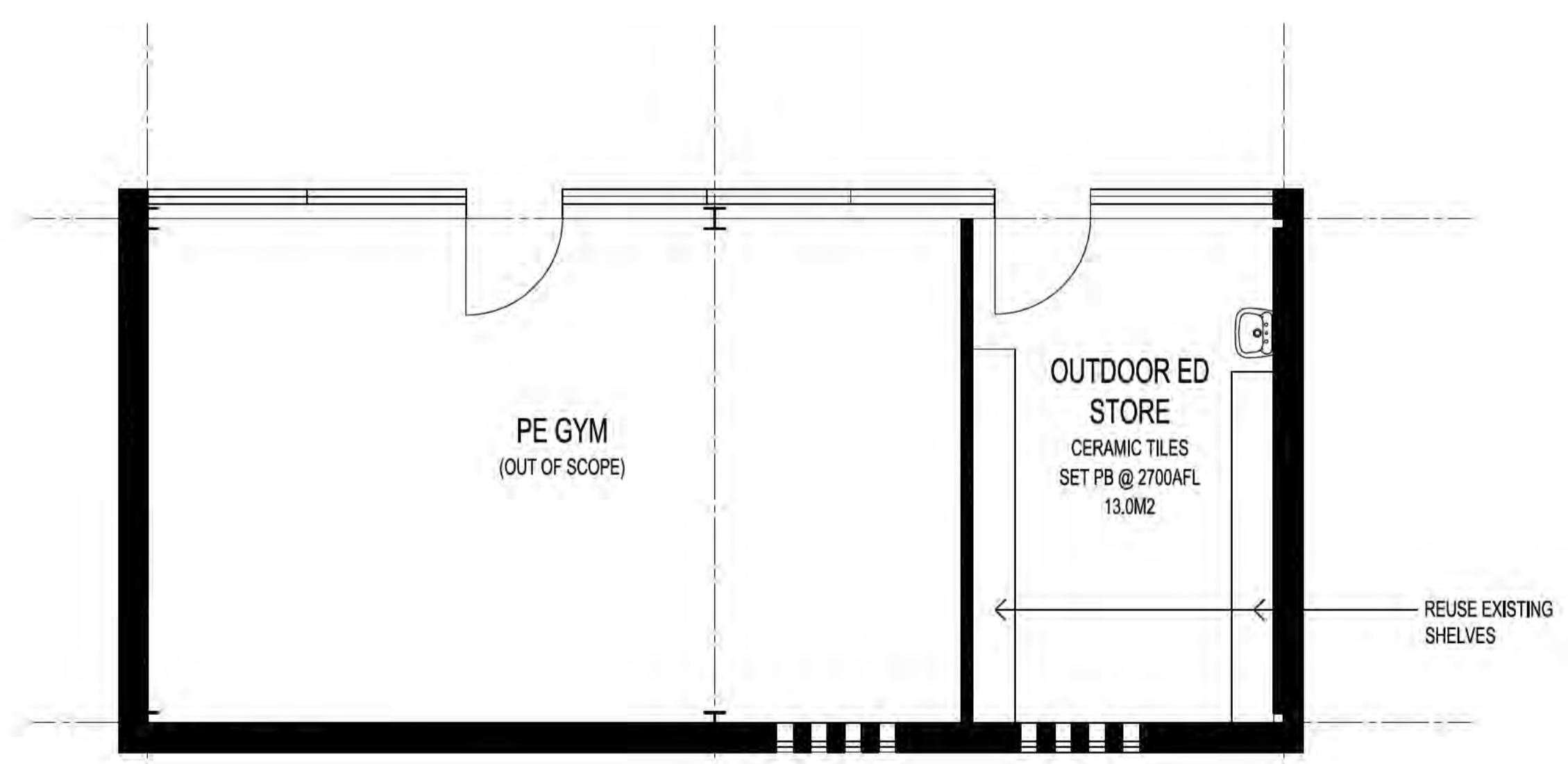


1
KEY PLAN
NTS



1
MATHEMATICS AREA, PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

- NOTES:**
FOUR (4) PACKAGES:
- ADMIN AREA STAFF TOILETS**
 - MALE STAFF TOILET - TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - FEMALE STAFF TOILET - TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - SICK BAY - NEW OBSERVATION WINDOW FROM ADMIN OFFICE, TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - MATHEMATICS AREA:**
 - NEW UNISEX AMBULANT STAFF TOILET - TAKING UP PART OF THE STORE ROOM, ONE (1) BASIN, ONE (1) TOILET PAN, AMBULANT GRAB RAILS, VINYL FLOORING AND WALL TILING TO DOOR HEIGHT
 - GYM CHANGE AREAS:**
 - MALE AND FEMALE CHANGE ROOMS - CREATION OF TWO 'IDENTICAL AND INTERCHANGEABLE' CHANGE AREAS AND A TOTAL REFRESH (COMPLETE STRIP, NEW VINYL FLOORING, WALL TILING TO DOOR HEIGHT AND REPLACING LIKE FOR LIKE WITH NEW HYDRAULIC FIXTURES)
 - NEW AWC/ SHOWER - KEYED UNISEX FACILITY FOR STAFF USE (IF REQUIRED CAN ALSO BE USED BY STUDENT WITH SPECIAL NEEDS), SHOULD PROVIDE SUFFICIENT SPACE TO ACCOMMODATE A MOBILE CHANGE TABLE IN SHOWER SPACE
 - NEW CLEANER STORE/ LAUNDRY -
 - RECONFIGURED PE ADMIN AREA - SPACE FOR FIVE(6) 1600x700 STRAIGHT WORKSTATIONS, SMALL KITCHENETTE WITH OVERHEADS AND OPPORTUNITY FOR STORAGE SHELVING
 - NEW PHOTOCOPIER/ ARCHIVE ROOM - ADDITIONAL UTILITY SPACE TO ADMIN AREA
 - NEW OUTDOOR EDUCATION STORE (OUTSIDE):**
 - AEC/ LAUNDRY AREA - COMPLETE STRIP AND TERMINATION OF HYDRAULIC SERVICES, GENERAL MAKE GOOD TO CREATE A SECURE STORE FOR OUTDOOR EDUCATION EQUIPMENT



2
OUTDOOR ED STORE, PROPOSED FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3



Ref.	Date	Issue/Amendment
1	15/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
3	19/08/19	INTERNAL ELEVATION TAGS ADDED
3	20/08/19	BASIN TO NEW PE STORE RETAINED, VANITIES WITH STORAGE TO NEW AMBULANT UNISEX STAFF TOILET
4	03/09/19	SIGN OFF ISSUE

PSP+

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CANBERRA COLLEGE UPGRADE WORKS
 Client: ama Projects
 on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILLIP

Drawing Title: **MATHEMATICS AREA/ OUTDOOR ED STORE PROPOSED FLOOR PLAN**

Drawn: _____ Director: _____
 Reviewer: _____ Verifier: _____

Scale: AS NOTED Date: 15/07/19
 Project No.: _____ CAD Name: _____

QA Reference: 1906.01 Sheet No.: A151 Amendment: 4
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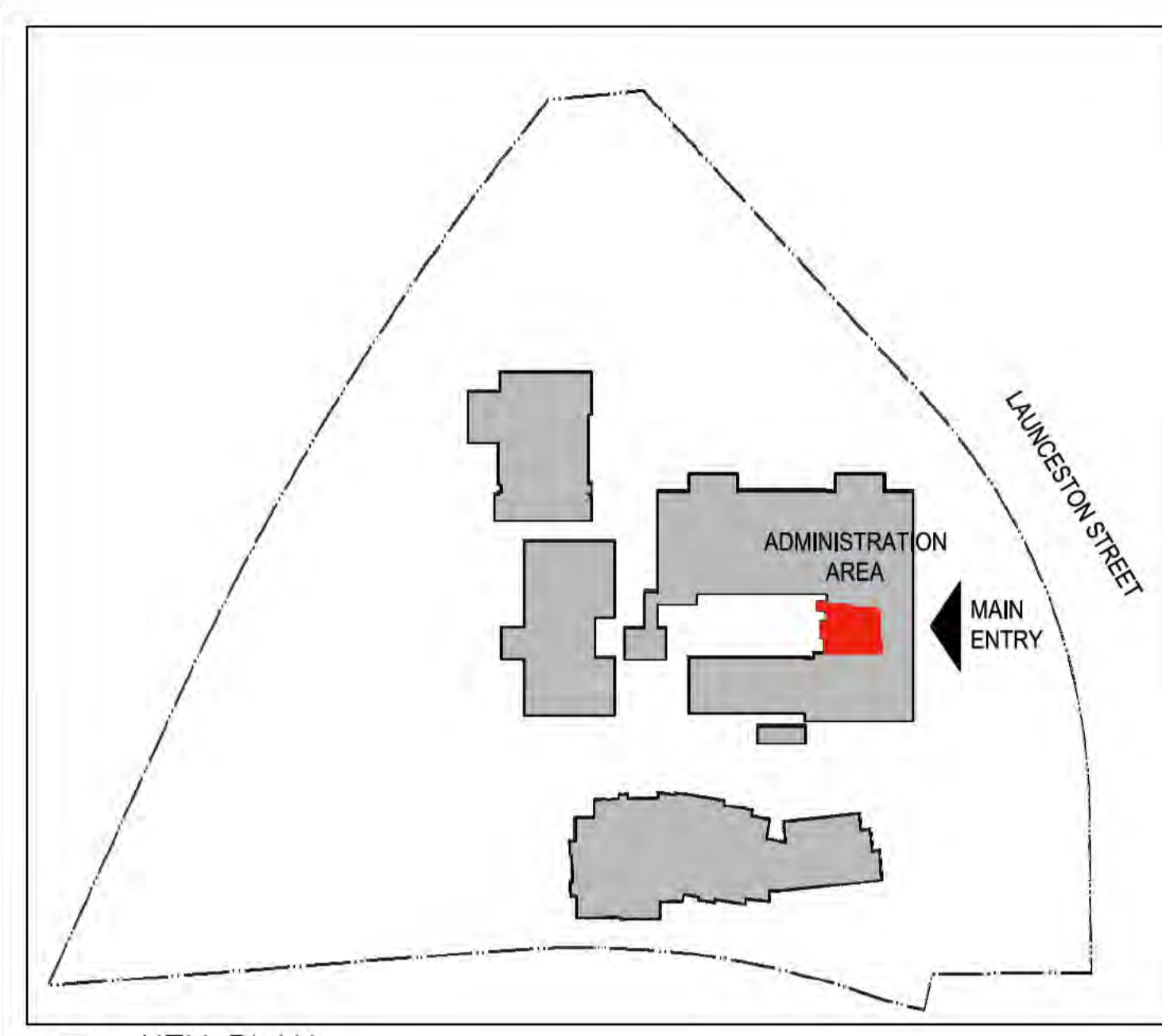
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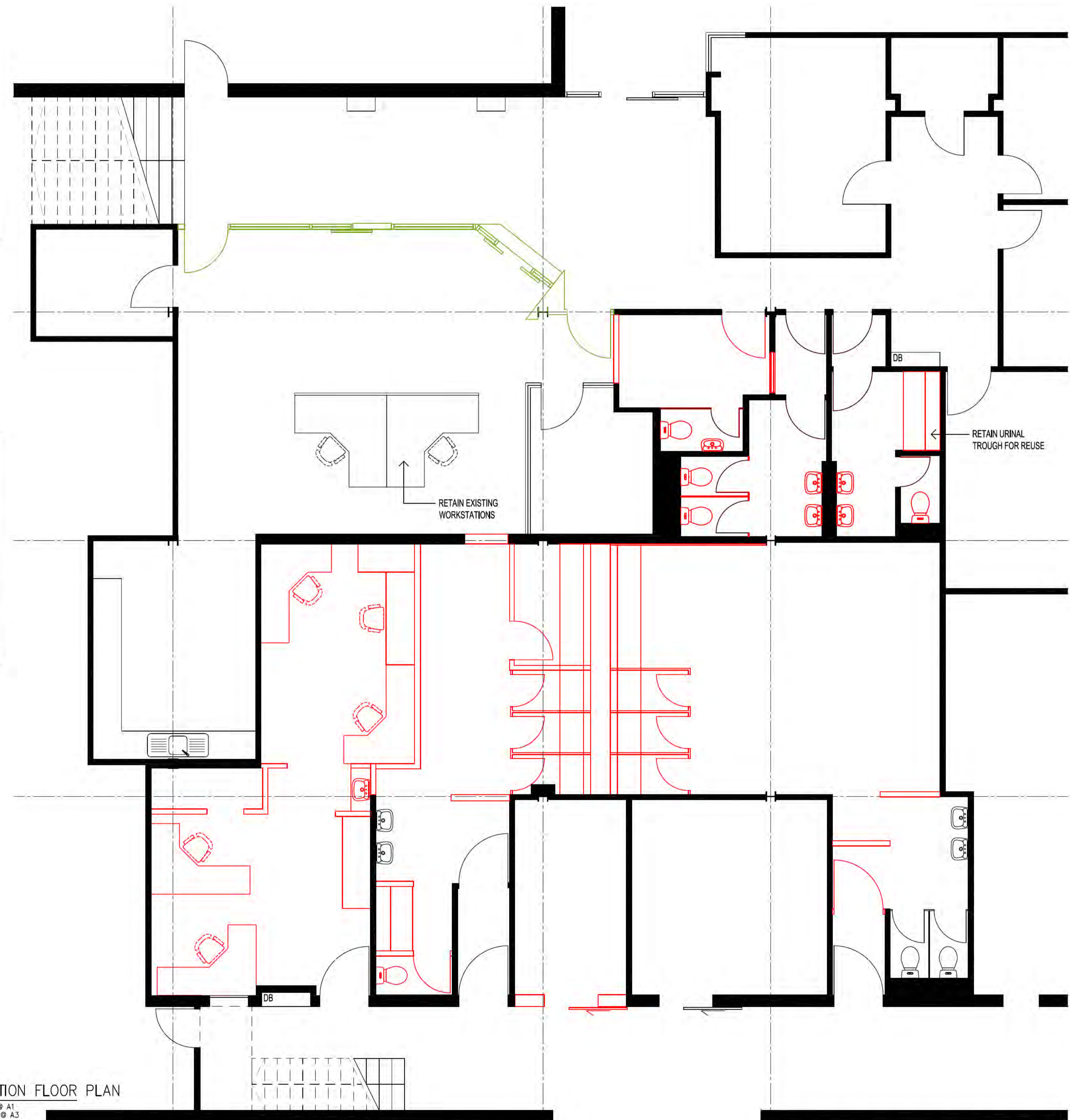
1 KEY PLAN
NTS

DEMOLITION SCOPE

- MAKE SAFE ALL SERVICES
- REMOVE ALL JOINERY, WALL HUNG SHELVES, NOTICE AND WHITE BOARDS)
- REMOVE CARPET FLOORING AND SKIRTING
- DEMOLISH WALLS AND DOORS AS SHOWN

PRIORITY 1 - ITEM TO BE DEMOLISHED
 PRIORITY 2 - ITEM TO BE DEMOLISHED

NOTE:
ALL ITEMS IDENTIFIED FOR REUSE TO BE CAREFULLY REMOVED AND STORED UNTIL RE-INSTALLATION.
TO BE ADVISED BY CANBERRA COLLEGE & ED.



1 DEMOLITION FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3



Ref.	Date	Issue/Amendment
1	19/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
	03/09/19	SIGN OFF ISSUE

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CANBERRA COLLEGE UPGRADE WORKS

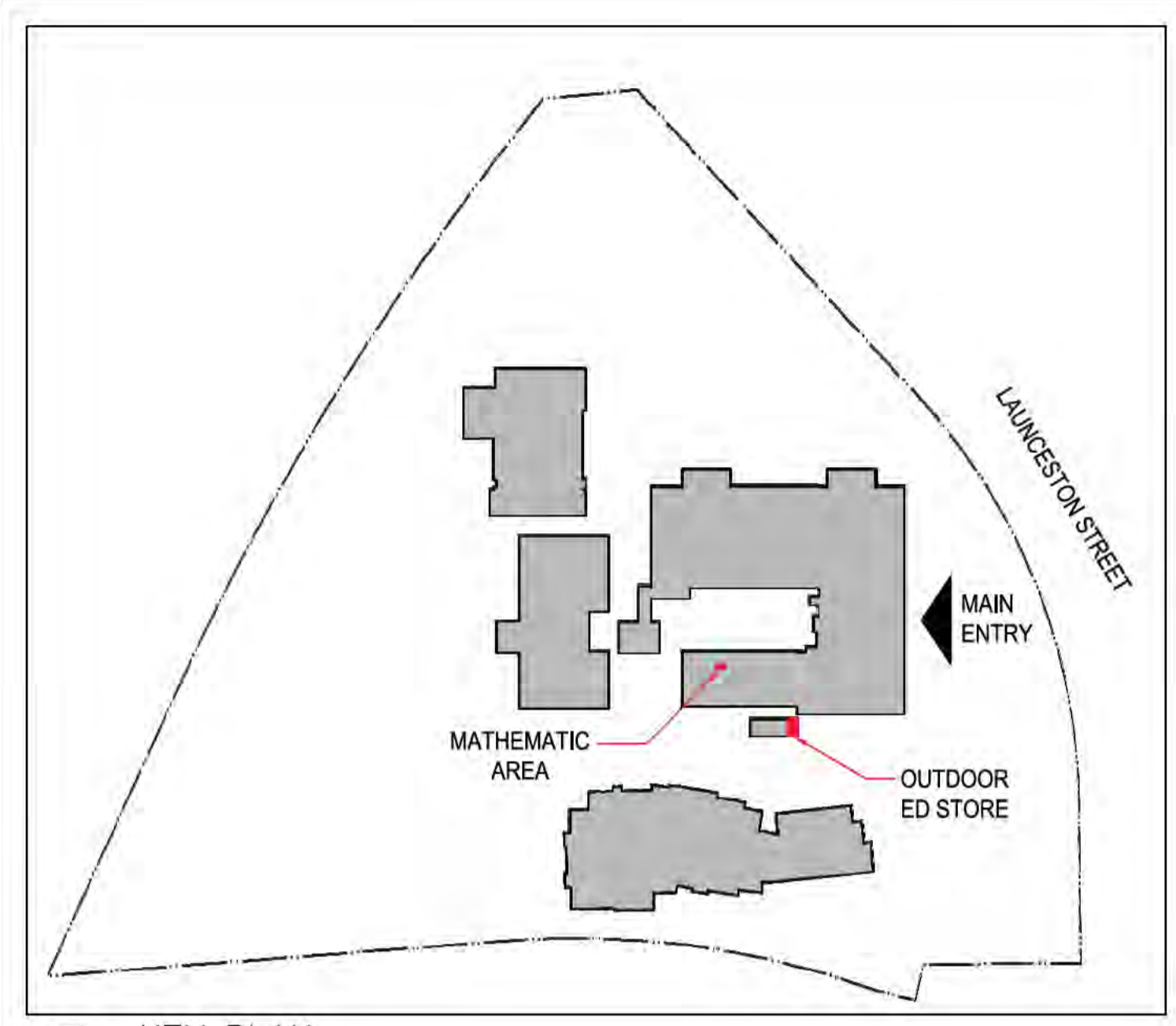
Client:
ama Projects
on behalf of
INFRASTRUCTURE FINANCE AND CAPITAL WORKS

Address:
40 Launceston Street, Phillip ACT 2606

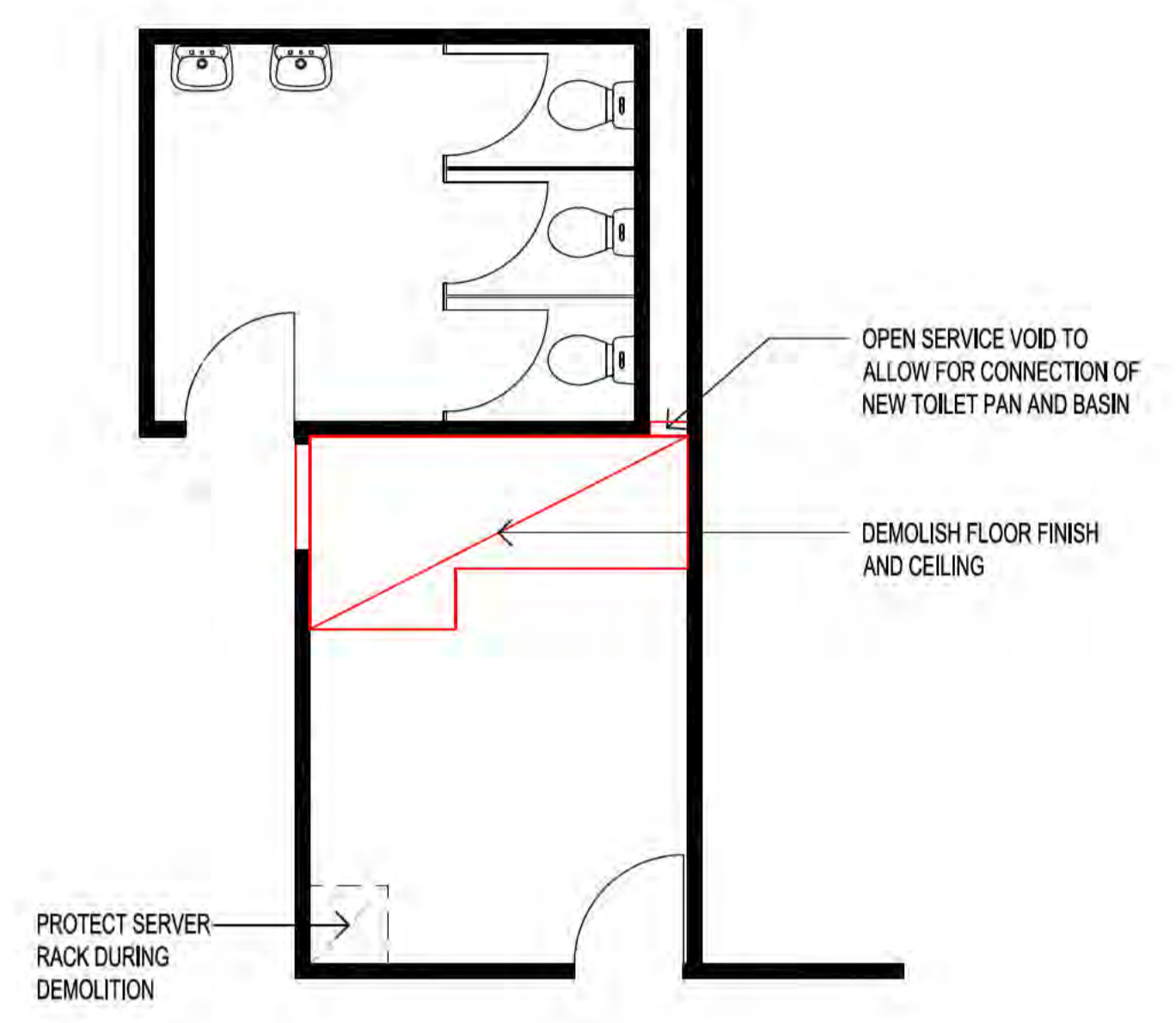
Block 16 Section 79 Division PHILIP

Drawing Title:
ADMINISTRATION AREA
DEMOLITION FLOOR PLAN

Author:	Director:	
Reviewer:	Verifier:	
Scale: AS NOTED	Date: 15/07/19	
Project No.:	CAD Name:	
QA Reference: 1906.01	Sheet No.:	Amendment:
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1
KEY PLAN
NTS

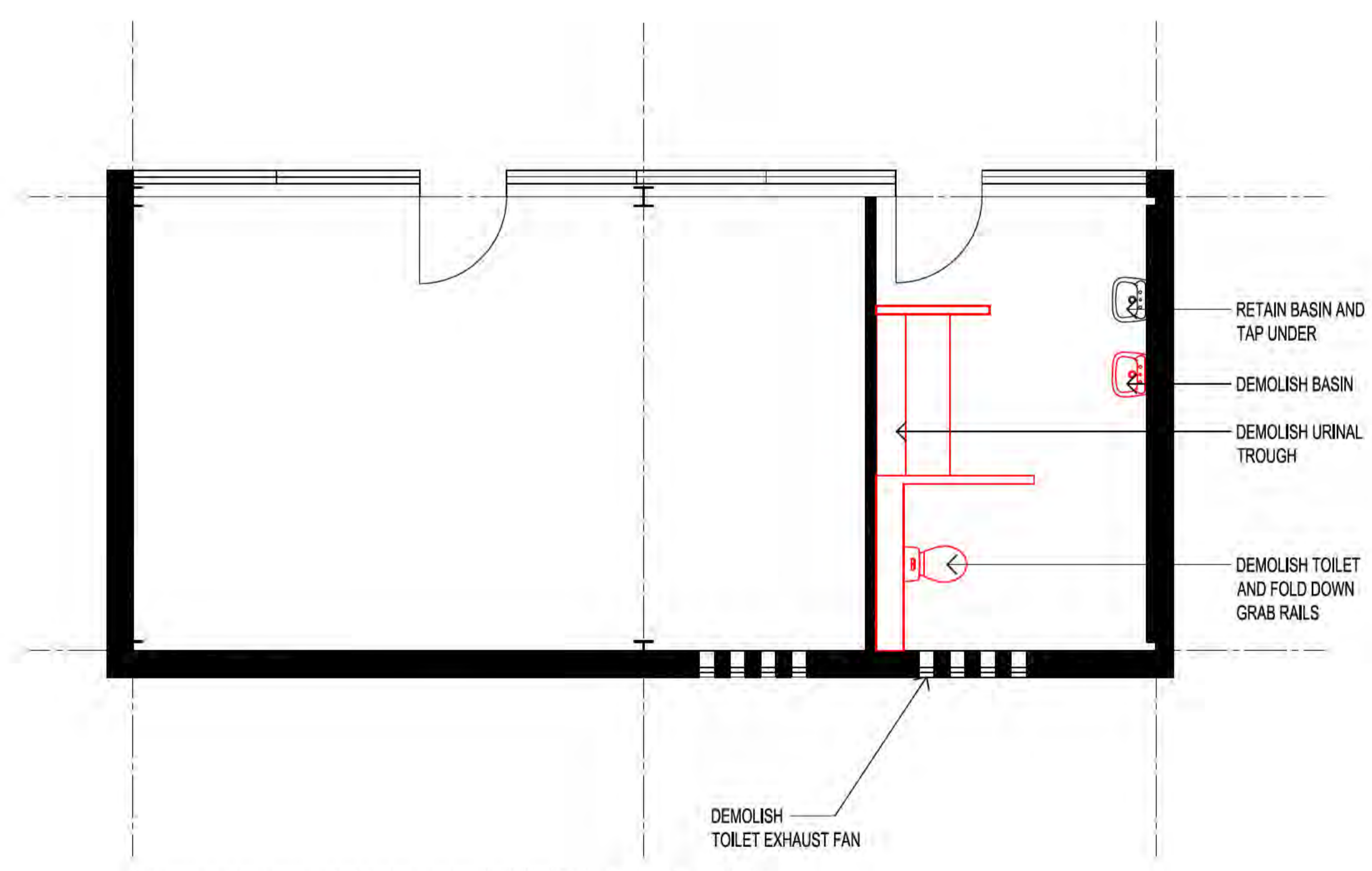


1
MATHEMATICS AREA, DEMOLITION FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

DEMOLITION SCOPE

- CUT NEW DOOR OPENING FOR 820 DOOR LEAF AND OPEN UP SERVICE VOID
- DEMOLISH FLOOR FINISH AND CEILING WHERE MARKED

ITEM TO BE DEMOLISHED



2
OUTDOOR ED STORE, DEMOLITION FLOOR PLAN
SCALE 1:50 @ A1
SCALE 1:100 @ A3

DEMOLITION SCOPE

- TERMINATE AND MAKE SAFE ALL SERVICES TO BE DEMOLISHED
- DEMOLISH ALL SANITARY FIXTURES
- DEMOLISH WALLS AND DOORS AS SHOWN

ITEM TO BE DEMOLISHED



Issue Register		
Ref.	Date	Issue/Amendment
1	15/07/19	FIRST ISSUE FOR CLIENT REVIEW
2	07/08/19	AGREED OPTION
	03/09/19	SIGN OFF ISSUE

PSP+

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK OR PREPARATION OF SHOP DRAWINGS. WHERE PROVIDED, DRAWINGS MUST BE READ IN CONJUNCTION WITH SCHEDULE OF WORK OR SPECIFICATION.

CANBERRA COLLEGE UPGRADE WORKS
 Client: ama Projects on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILIP

Drawing Title: **MATHEMATICS AREA/ OUTDOOR ED STORE DEMOLITION FLOOR PLAN**

Drawn: [] Director: []
 Reviewed: [] Verified: []
 Scale: AS NOTED Date: 15/07/19
 Project No.: [] CAD Name: []

QA Reference: 1906.01 Sheet No.: A251 Amendment: 2
 © Copyright

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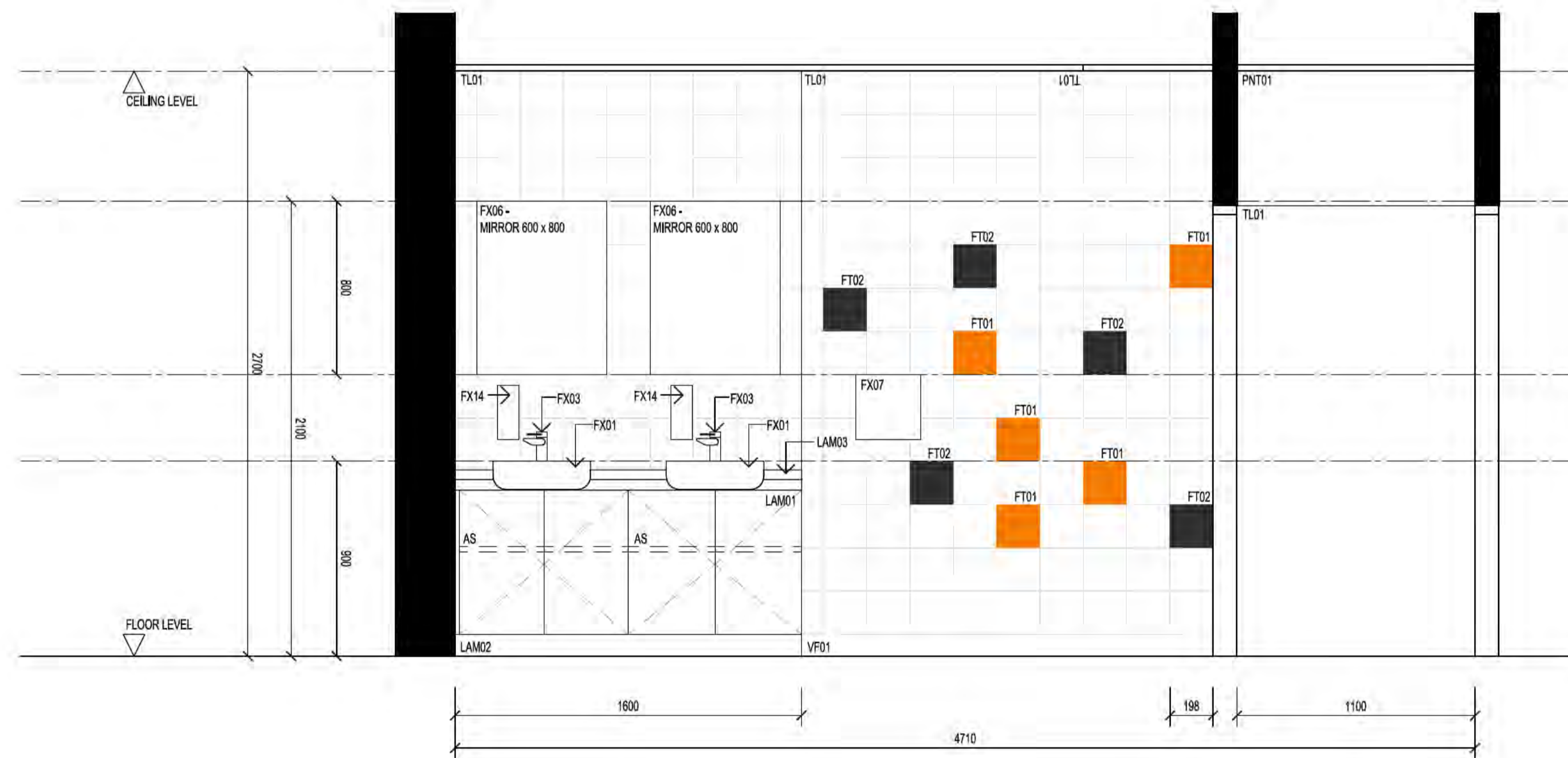
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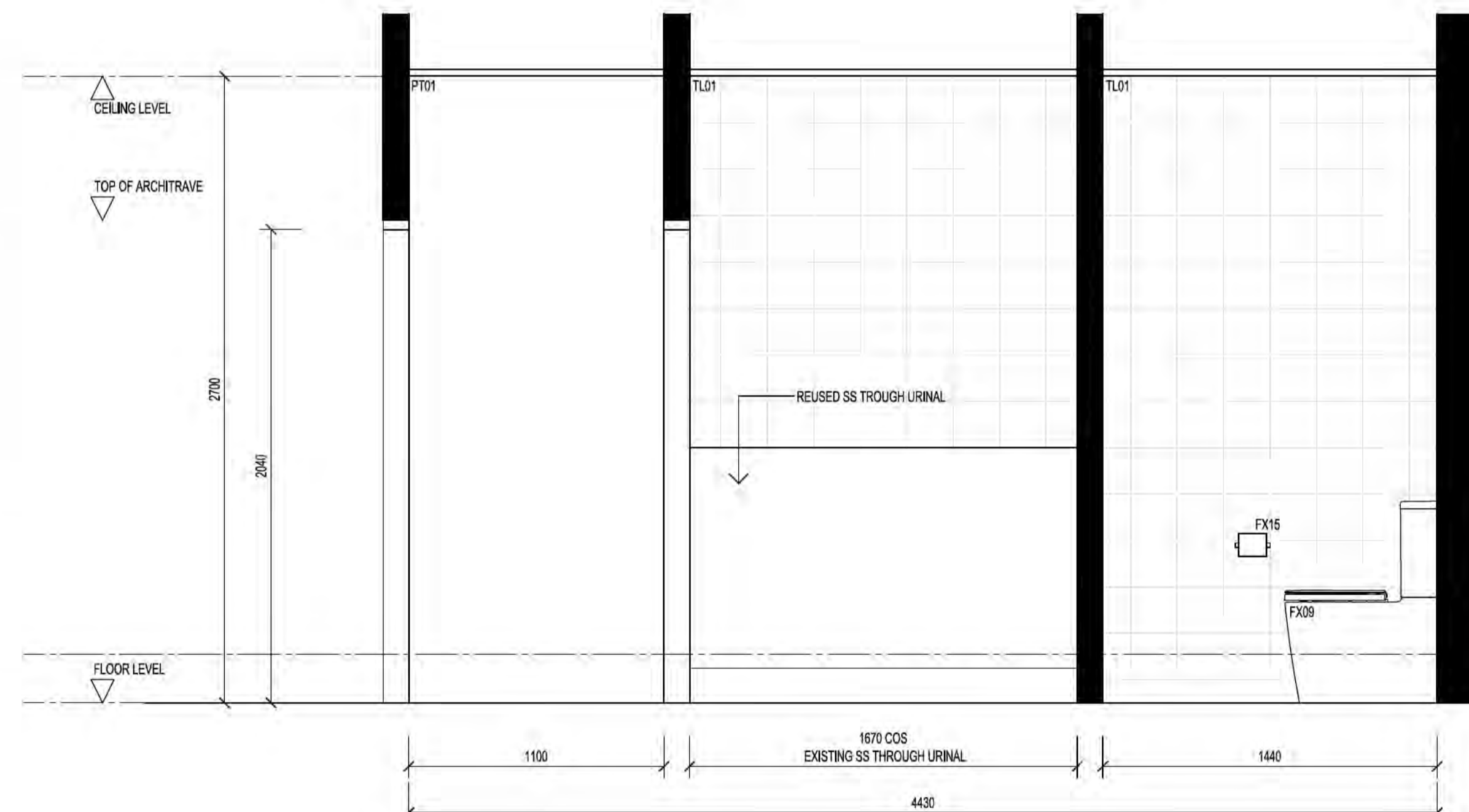
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1 ADMIN AREA, MALE & FEMALE STAFF TOILET – ELEVATION 1
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



2 ADMIN AREA, MALE STAFF TOILET – ELEVATION 2
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



3 ADMIN AREA, MALE STAFF TOILET – ELEVATION 2
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3

Issue Register		
Ref.	Date	Issue/Amendment
1	19/08/19 03/09/19	FIRST ISSUE FOR CLIENT REVIEW SIGN OFF ISSUE

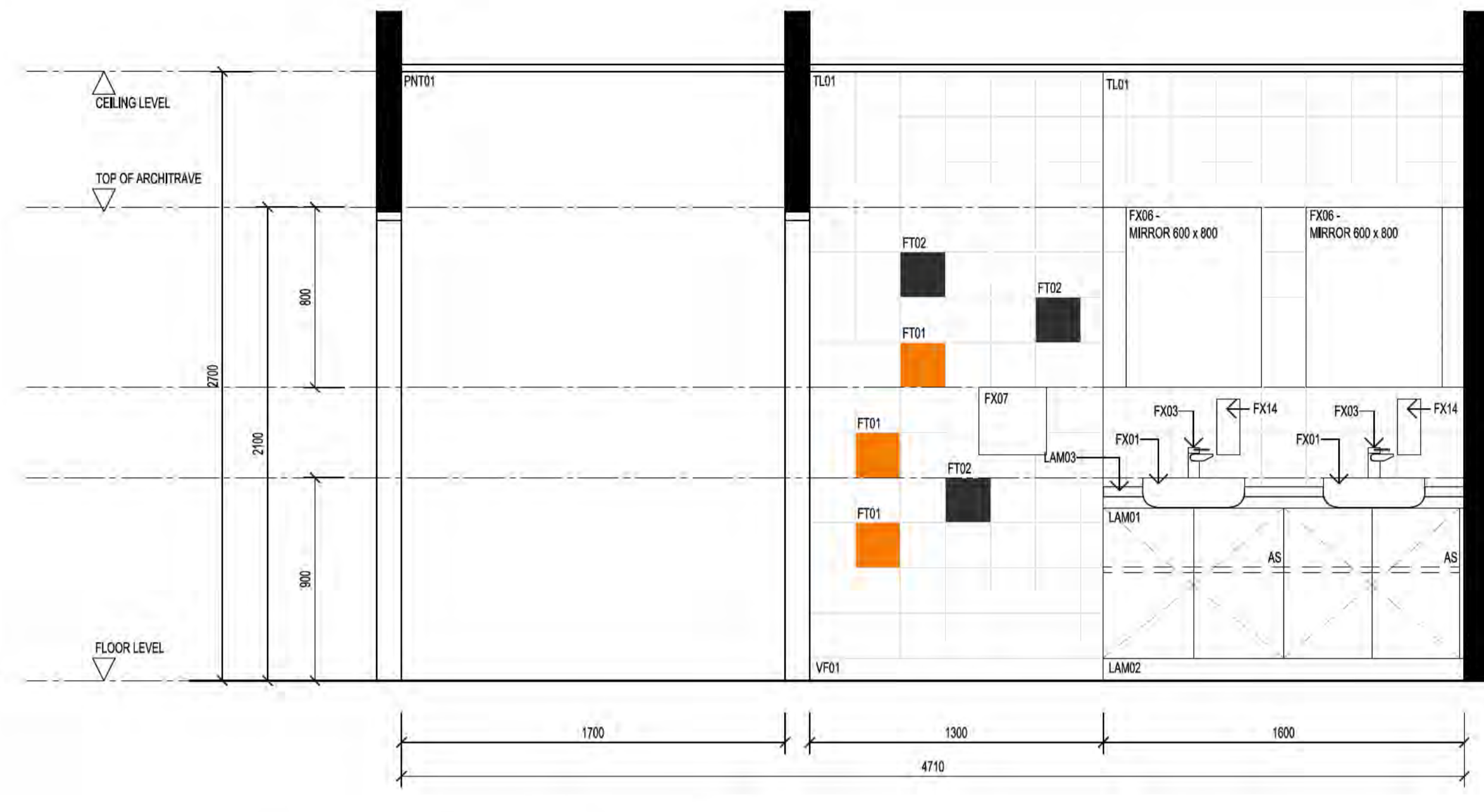
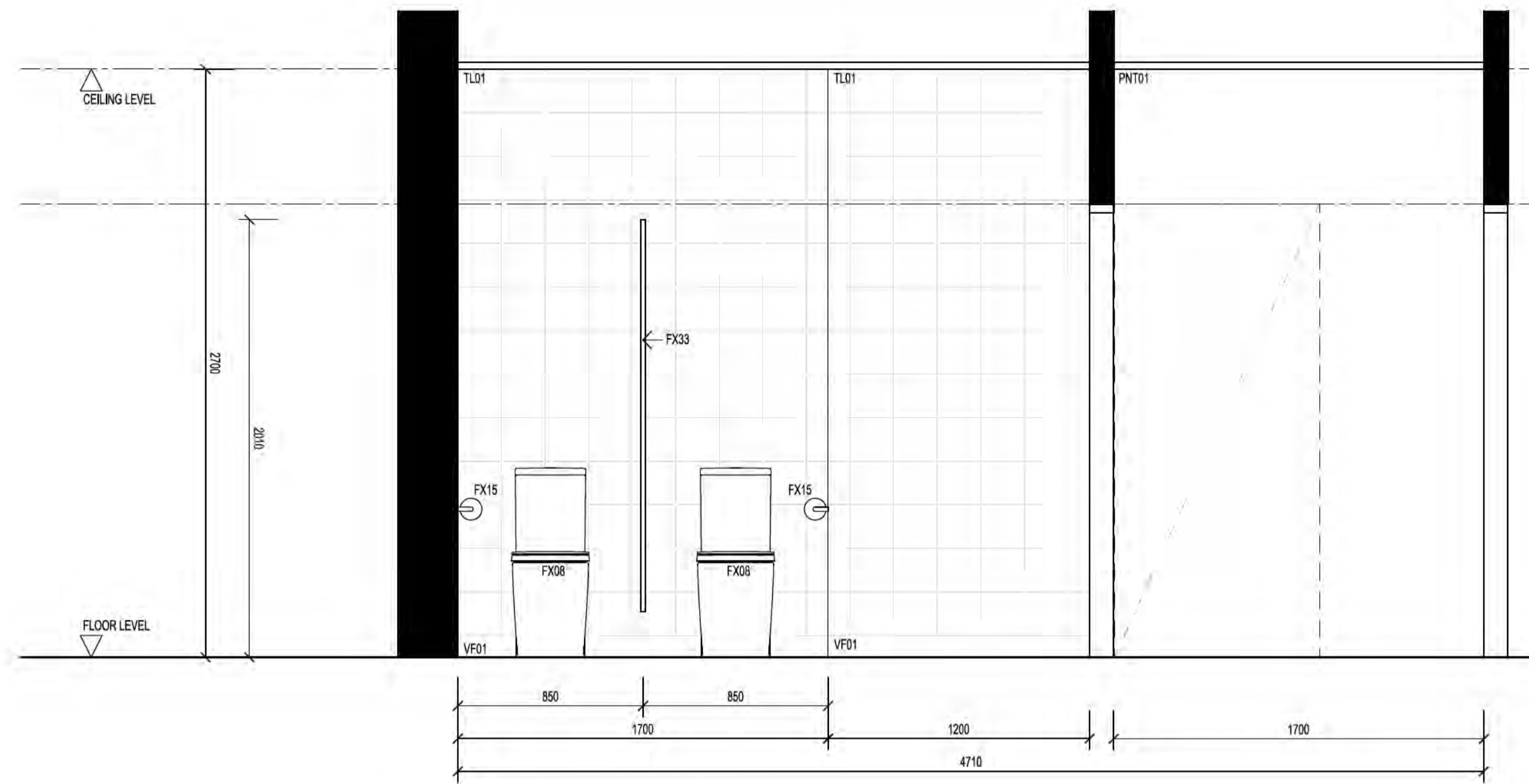
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CANBERRA COLLEGE
 UPGRADE WORKS
 Client: ama Projects
 on behalf of
 INFRASTRUCTURE FINANCE AND CAPITAL
 WORKS
 Address:
 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILIP

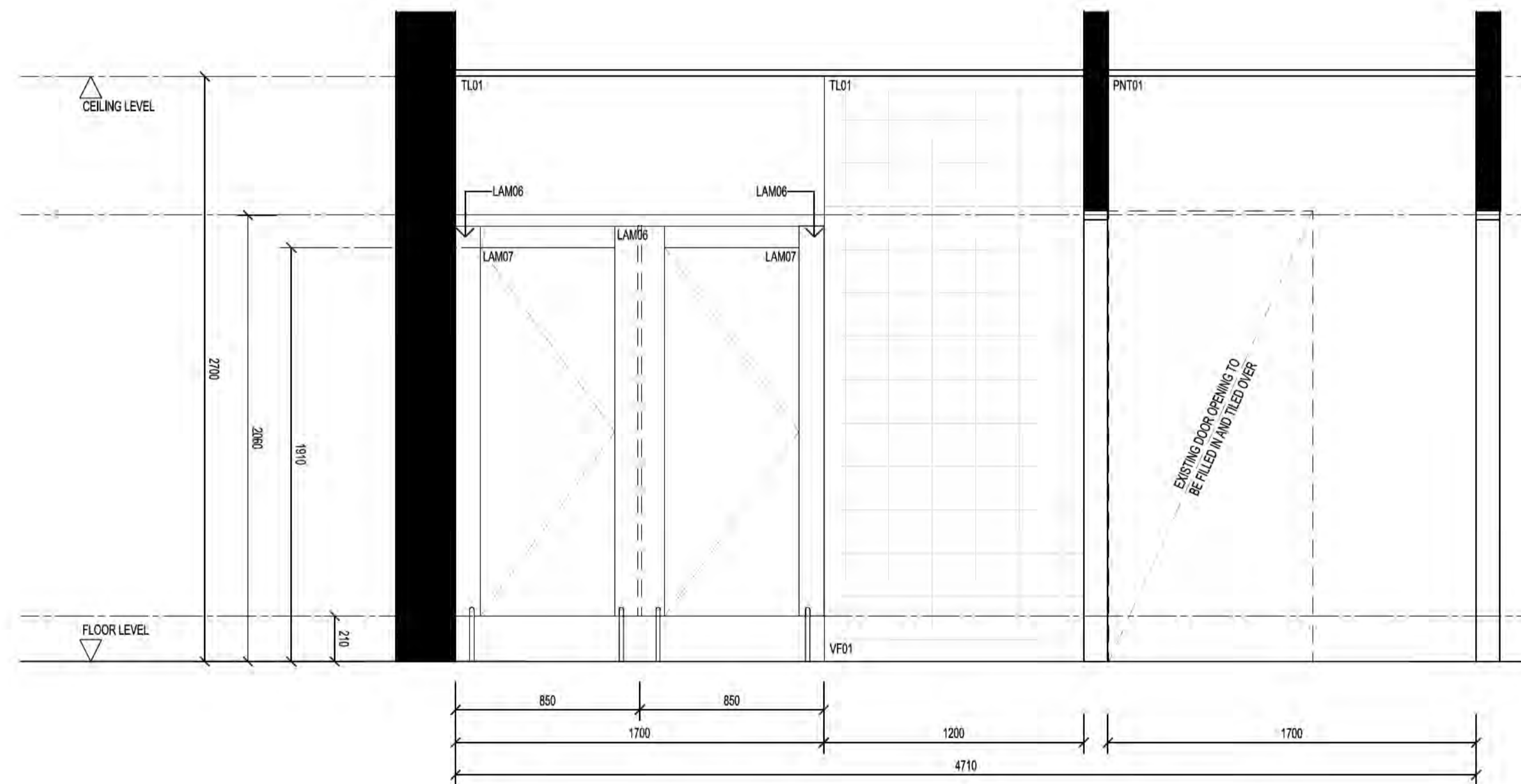
Drawing Title:
 ADMIN AREA, STAFF TOILETS
 INTERNAL ELEVATIONS – SHEET 1 OF 2

Drawn: [Signature] Director:
 Reviewer: [Signature] Verifier:
 Scale: AS NOTED Date: 15/07/19
 Project No.: CAD Name:
 QA Reference: 1906.01 Sheet No.: A400 Amendment: 1
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4 ADMIN AREA, FEMALE STAFF TOILET – ELEVATION 4
 A150 SCALE 1:20 @ A1
 SCALE 1:40 @ A3

5 ADMIN AREA, MALE STAFF TOILET – ELEVATION 5
 A150 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



4 ADMIN AREA, FEMALE STAFF TOILET – ELEVATION 4 (PARTITION DOORS SHOWN)
 A150 SCALE 1:20 @ A1
 SCALE 1:40 @ A3

Issue Register		
Ref.	Date	Issue/Amendment
1	19/08/19 03/09/19	FIRST ISSUE FOR CLIENT REVIEW SIGN OFF ISSUE

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CANBERRA COLLEGE UPGRADE WORKS
 Client: ama Projects
 on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILIP

Drawing Title: ADMIN AREA, STAFF TOILETS
 INTERNAL ELEVATIONS – SHEET 2 OF 2

Drawn: [Redacted] Director: [Redacted]
 [Redacted] Verifier: [Redacted]
 Scale: AS NOTED Date: 15/07/19
 Project No.: [Redacted] CAD Name: [Redacted]
 QA Reference: 1906.01 Sheet No.: A401 Amendment: 1
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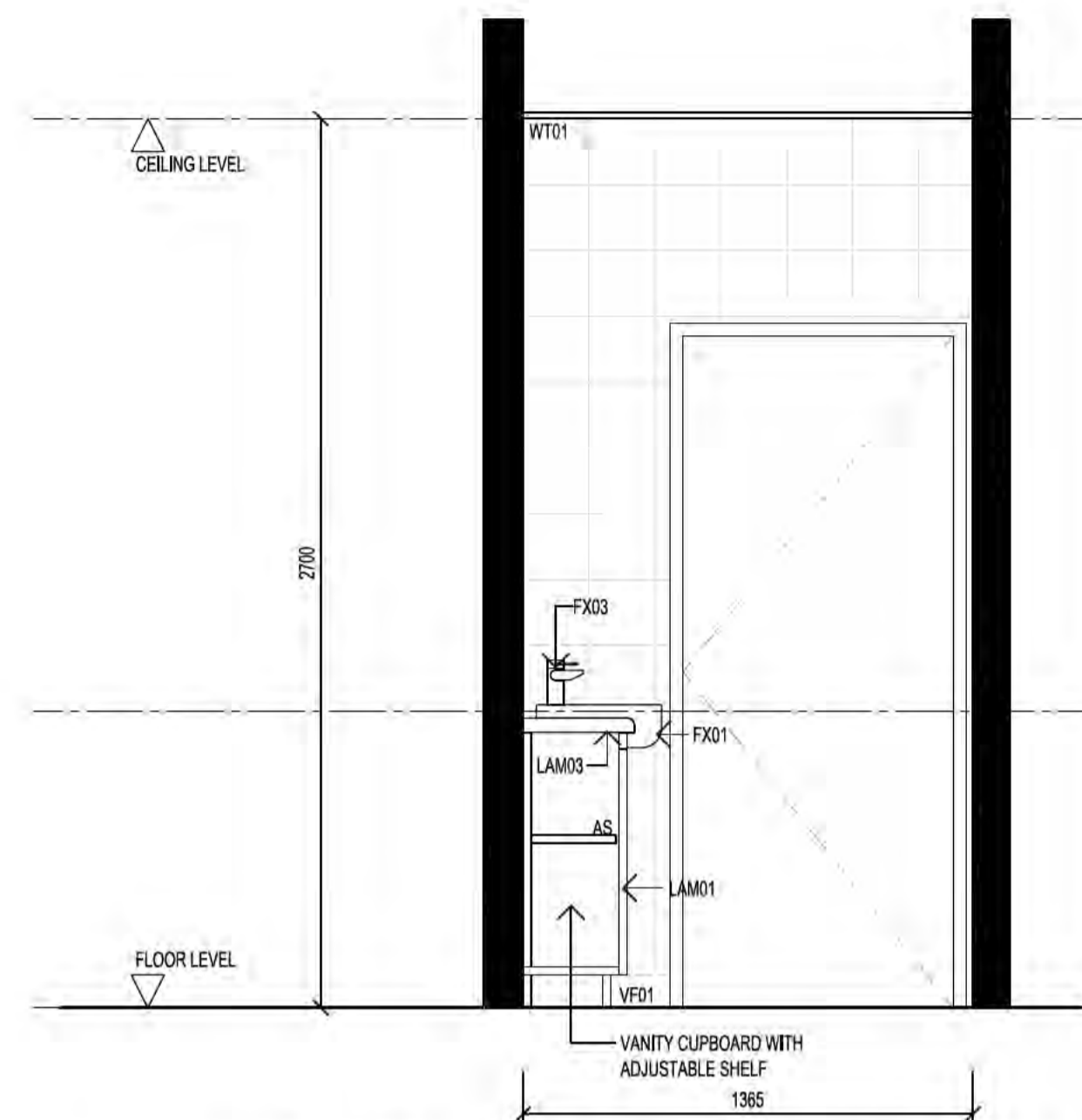
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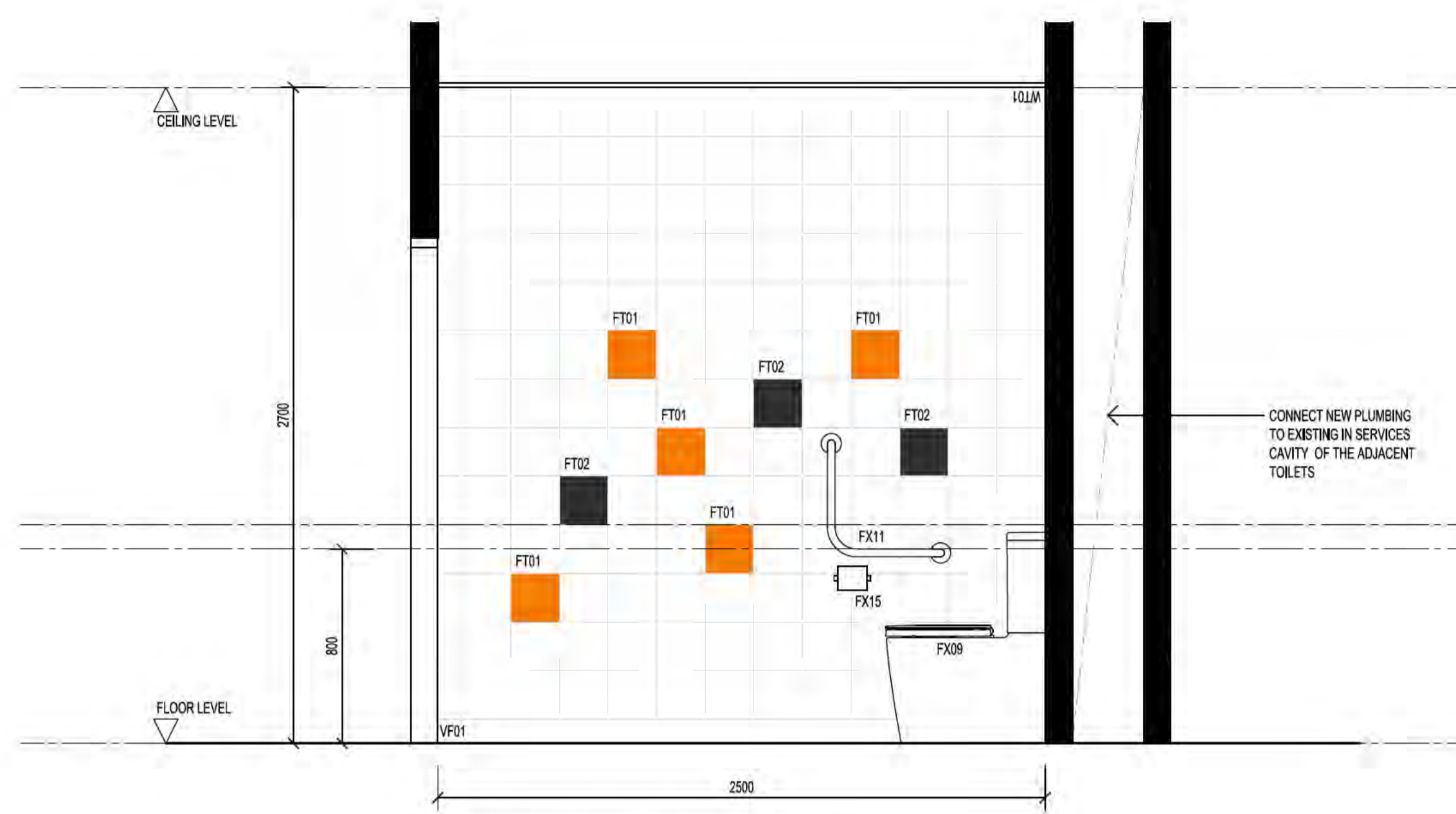
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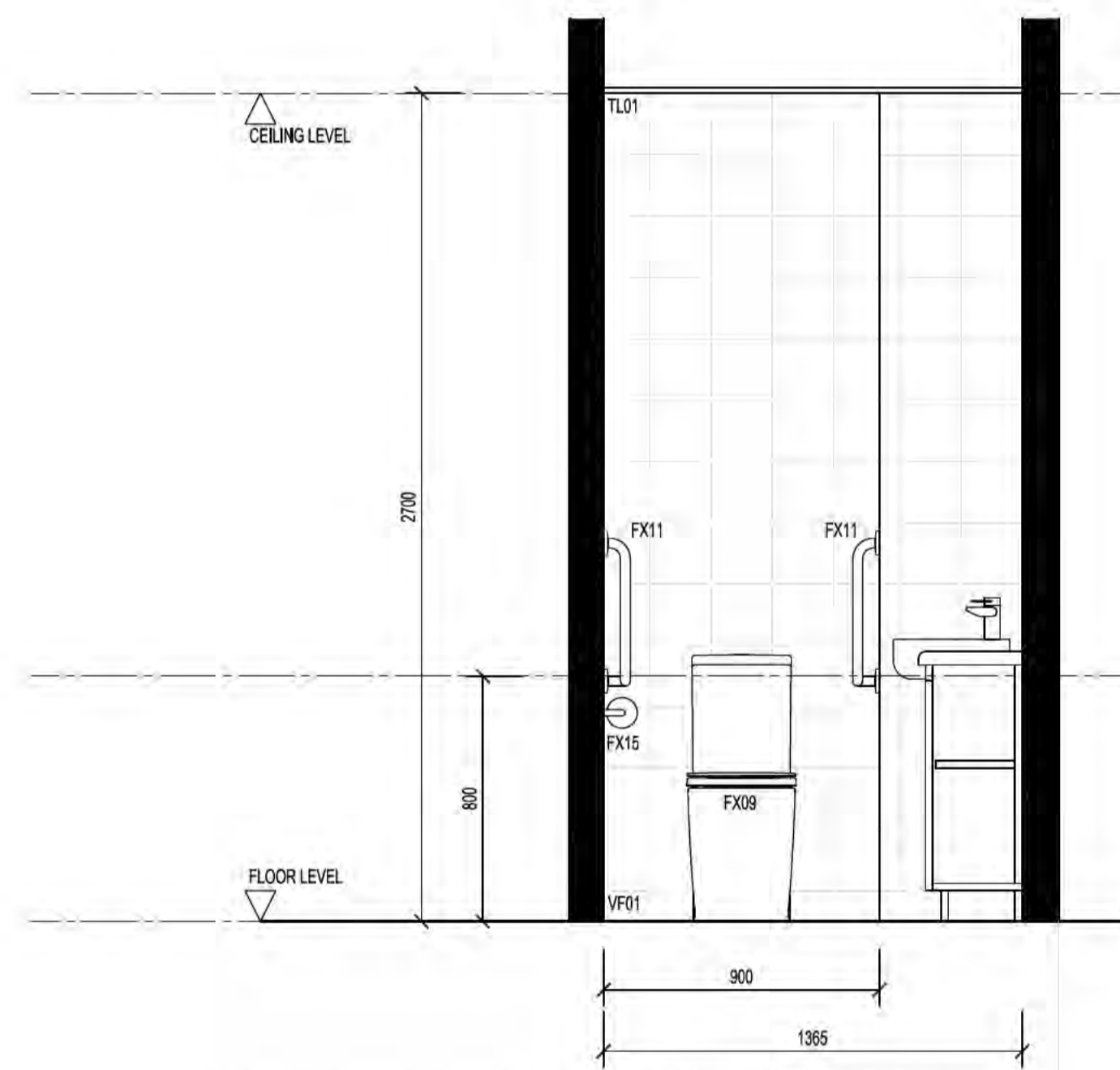
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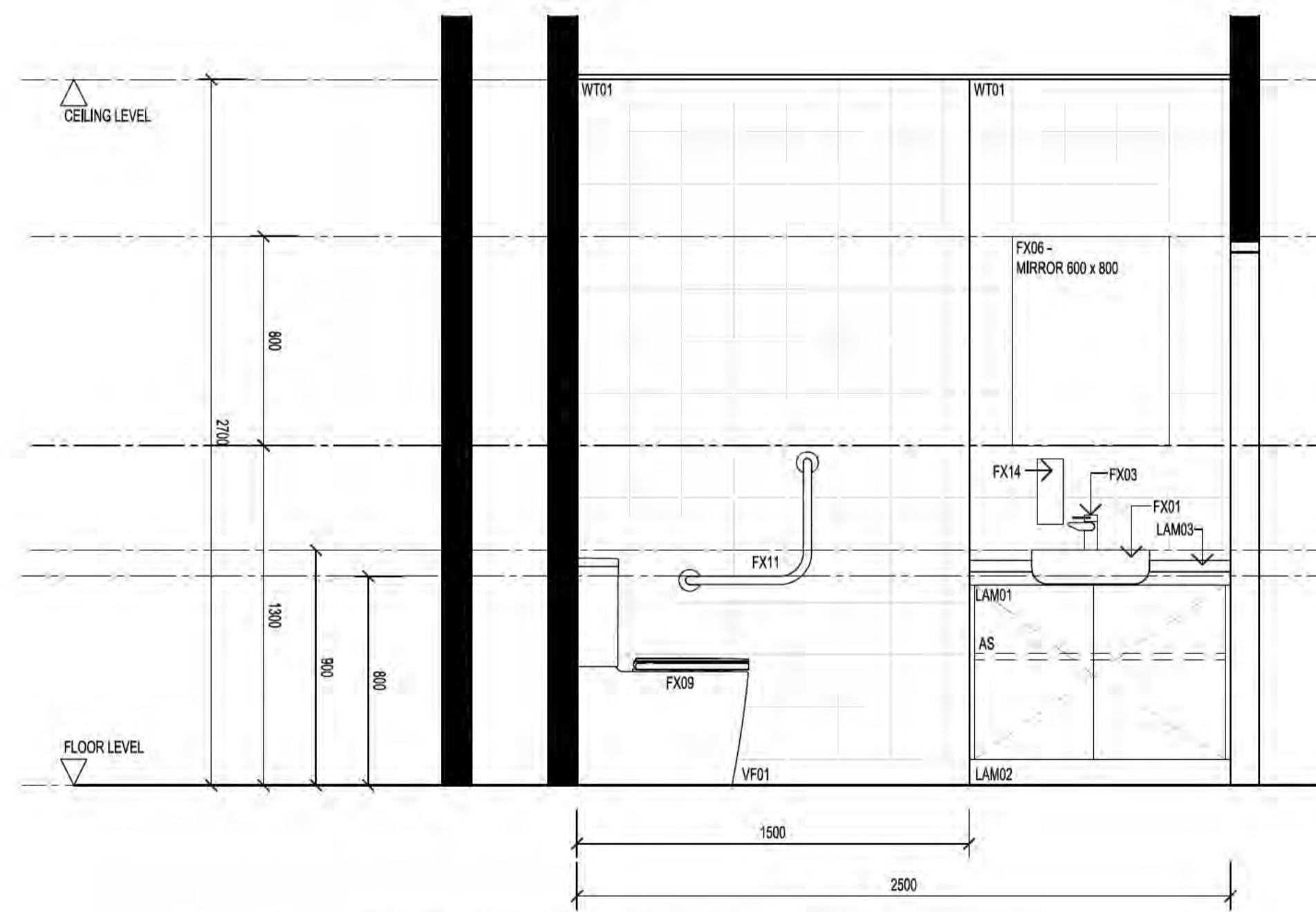
1 MATH AREA, STAFF TOILET – ELEVATION 1
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



2 MATH AREA, STAFF TOILET – ELEVATION 2
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



3 MATH AREA, STAFF TOILET – ELEVATION 3
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



4 MATH AREA, STAFF TOILET – ELEVATION 4
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3

- NOTES:
1. AMEND SPRINKLER LAYOUT (NEW WC AND STORE ROOM) TO ENSURE CODE COMPLIANT COVERAGE AS REQUIRED
 2. AMEND SMOKE DETECTION LAYOUT (NEW WC AND STORE ROOM) TO ENSURE CODE COMPLIANT COVERAGE AS REQUIRED
 3. PROVIDE NEW LED LIGHT FITTINGS AND CODE COMPLIANT VENTILATION

Issue Register

Ref.	Date	Issue/Amendment
1	19/08/19 03/09/19	FIRST ISSUE FOR CLIENT REVIEW SIGN OFF ISSUE

PSP+

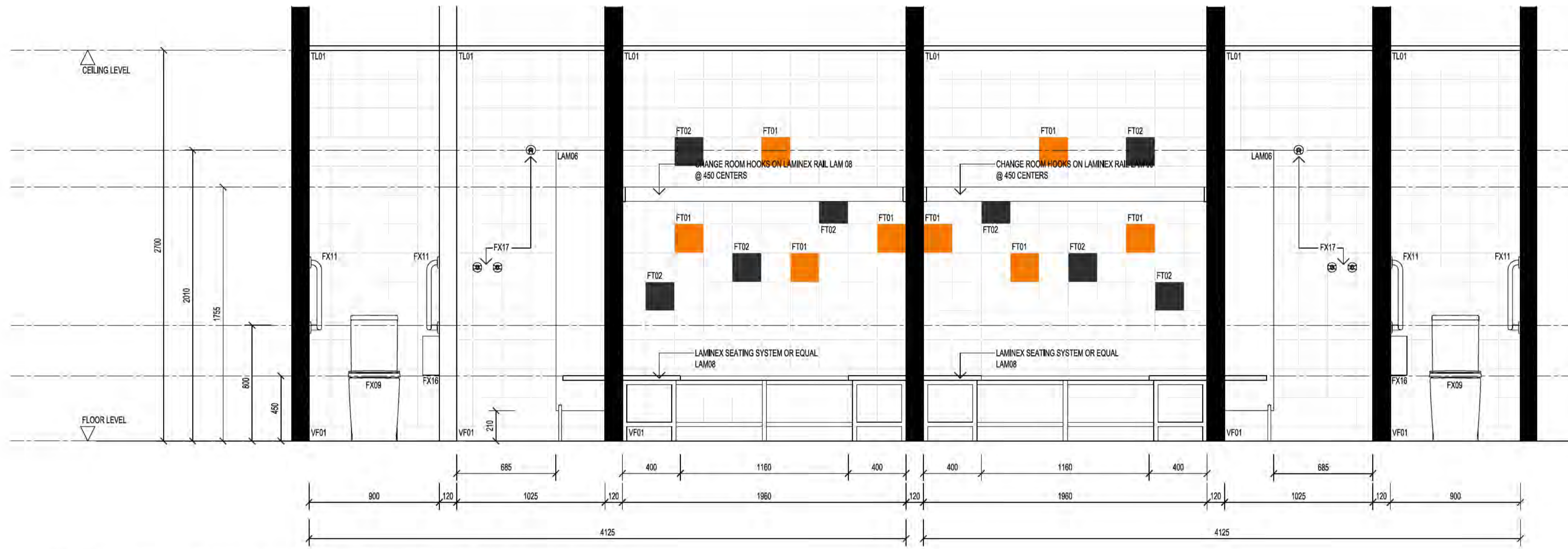
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CANBERRA COLLEGE UPGRADE WORKS

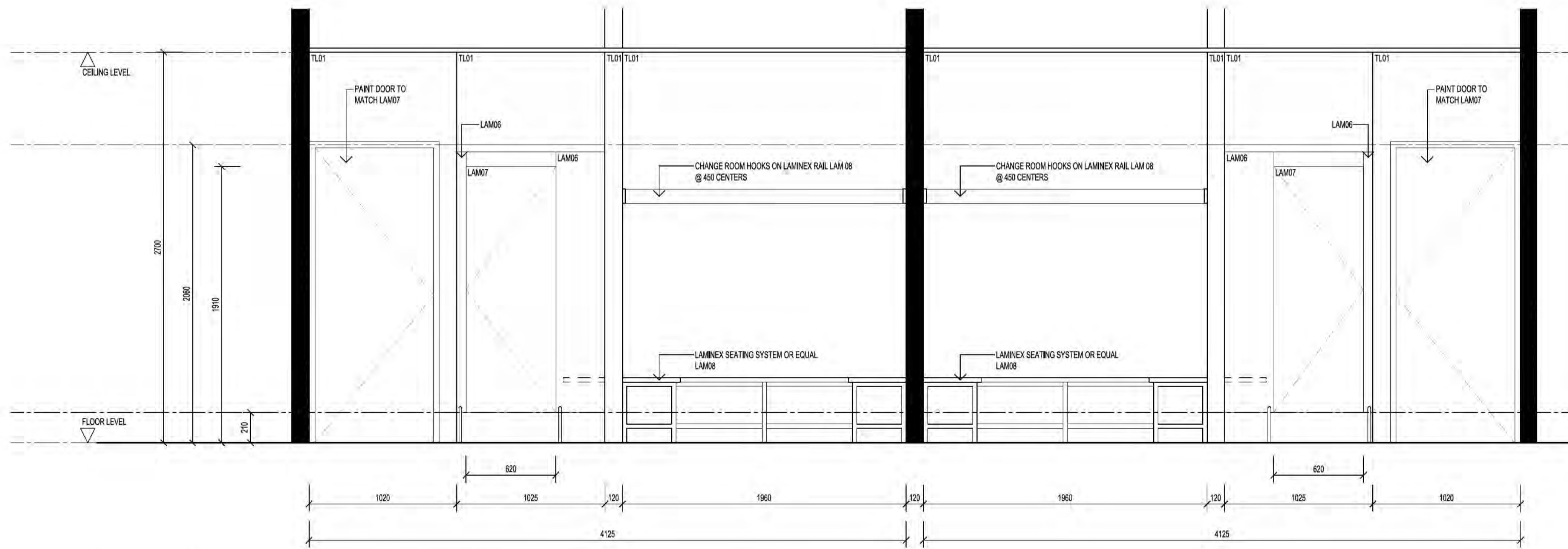
Client: ama Projects
 on behalf of INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address: 40 Launceston Street, Phillip ACT 2606
 Block 16 Section 79 Division PHILLIP

Drawing Title: MATHEMATICS AREA, STAFF TOILET INTERNAL ELEVATIONS

Drawn: [Redacted] Director: [Redacted]
 AS NOTED Date: 15/07/19
 Project No.: [Redacted] CAD Name: [Redacted]
 QA Reference: 1906.01 Sheet No.: A405 Amendment: 1
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6 GYM CHANGE ROOMS, MALE & FEMALE – ELEVATION 6
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3



6 GYM CHANGE ROOMS, MALE & FEMALE – ELEVATION 6 (PARTITION DOORS SHOWN)
 SCALE 1:20 @ A1
 SCALE 1:40 @ A3

- NOTES:
1. AMEND SPRINKLER LAYOUT (NEW WC AND STORE ROOM) TO ENSURE CODE COMPLIANT COVERAGE AS REQUIRED
 2. AMEND SMOKE DETECTION LAYOUT (NEW WC AND STORE ROOM) TO ENSURE CODE COMPLIANT COVERAGE AS REQUIRED
 3. PROVIDE NEW LED LIGHT FITTINGS AND CODE COMPLIANT VENTILATION

Issue Register

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CANBERRA COLLEGE UPGRADE WORKS

Client: ama Projects
 on behalf of
 INFRASTRUCTURE FINANCE AND CAPITAL WORKS
 Address:
 40 Launceston Street, Phillip ACT 2606
 Block Section Division
 16 79 PHILIP

Drawing Title:
 GYM CHANGE ROOMS,
 INTERNAL ELEVATIONS

Drawn: [Redacted] Director: [Redacted]
 Reviewed: [Redacted] Verified: [Redacted]
 Scale: AS NOTED Date: 15/07/19
 Project No.: [Redacted] CAD Name: [Redacted]
 QA Reference: 1906.01 Sheet No.: A410 Amendment: 1
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Dear Principals and Business Managers,

The Education Directorate is funded to undertake small to medium works as identified in project categories at **Attachment A**. Upgrading facilities and infrastructure in ACT public schools through the annual Public School Infrastructure Renewal Program (PSIRP).

The Infrastructure and Capital Works (ICW) branch is seeking annual proposals from schools to assist in the development of the 2023-24 PSIRP. ICW is requesting input from your school and your school community. This is also an opportunity to update your previous infrastructure upgrade project priorities.

The annual PSIRP is endorsed by the Education Directorate and Minister for Education and Early Childhood Development each year as a rolling program.

Please review and complete the Request for Proposal Form at **Attachment B** and return to ESOInfrastucture@act.gov.au by **14 October 2022** with any supporting documentation for your proposal to be included with your submission.

If you have any questions regarding this proposal process, please do not hesitate to contact Richard Hooper at Richard.hooper@act.gov.au or on 

Regards,

John Nakkan
Acting Executive Branch Manager
Infrastructure and Capital Works

6 September 2022

Attachment A

Future Public School Infrastructure Renewal Program (PSIRP)- Request for Proposals Information

The PSIRP has sub-categories within the program. These categories are to ensure that all areas of the school infrastructure portfolio are considered at the school and system level. Schools are encouraged to consider each of these areas and to submit their proposal under the appropriate subcategory.

Project Categories:

CATEGORY 1: School Learning Area Improvements: Improvements to areas directly used for teaching and learning. Project examples such as upgrading teaching spaces (including preschools), learning support units, science labs, hospitality areas, technology, library area upgrades and modifications to increase school capacity.

CATEGORY 2: School Administration and Support Area Improvements: Improvements to the staff, administration and areas for community access to school facilities. Project examples such as upgrading administration areas, student and staff toilets, canteens, staffrooms and community meeting rooms.

CATEGORY 3: Accessibility Compliance: Addresses access requirements for students and staff who require support and the provision of appropriate learning spaces for all students. Project examples such as access ramps, accessible toilets and specialty infrastructure installations. An occupational therapist report is required when developing significant proposals of this nature for individual students.

CATEGORY 4: School Infrastructure Revitalisation: Improvements to the base infrastructure of the school. Project examples such as upgrading heating and cooling systems, major roof repairs, sewer and stormwater rectification and electrical upgrades.

CATEGORY 5: School Security Improvements: Improvements to the security of ACT public schools and facilitation of access by the community. This could include a wide range of measures such as new school fences or modifications to existing fences to allow community access, external lighting, general security upgrades, front office security measures and responding to the Directorate's security initiatives.

CATEGORY 6: School Safety Improvements: Improvements to the safety of ACT public schools. Projects such as car park and traffic safety, removal of hazardous materials and addressing other issues as they arise.

CATEGORY 7: External Learning Environments: Upgrades of the external areas at ACT public schools. Projects include landscape master planning, play equipment upgrades, shade structures, outdoor learning environments, hardcourts, courtyards and tree planting.

CATEGORY 8: Building Envelope and Energy Efficiency Improvements: These are projects responding to the ACT Government's requirements for improved energy and operational efficiency, and sustainability performance. Projects may include double glazing, insulation, building control systems, auto doors/air locks, draught proofing and heating and cooling efficiency measures. Please note these proposals will be assessed in consultation with the Environmental Sustainability team within ICW and have the potential to be joint funded with the school through the Solar Feed in Tariff.

Attachment B

Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name: Torrens Primary School

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
1	Chifley Preschool refurbishment – We have temporarily closed Chifley Preschool for 2023 to allow the refurb to take place (we offered a new session at Pearce Preschool instead)	1,2 & 4	Redesigning half the preschool space to make the storeroom, staff office, staff toilet and student toilets functional. Putting in an additional external door to make the building compliant (it only has one entry/exit point). Demolition of cubby house/storage shed (possible lead and asbestos), removal and construction of a new one. Sewer rectification (when the adjacent YWCA – old Melrose PS – flush wipes etc down their toilets, our toilets get blocked up and staff have to be replaced whilst they use Chifley Shops public toilets)	Architecture designs- scope of demolition and works and floor plans- from Infrastructure Finance and Capital Works for Chifley Preschool, Maclaurin Cres, Chifley.	
2	Torrens Primary School Junior school girls and boys toilet blocks	2	15-year-old toilet blocks. Thin walls with numerous holes being patched up. Urine soaked into tiles (can't remove smell in boys toilets). Doors that can't be closed.	Plans from most recent senior toilet block refurb as the same requirements will apply to the junior school toilets	
3	External lighting up Torrens Primary School driveway	5	There is currently no external lighting up the school driveway where staff park and parents/families walk up for out of school hours events. Pitch black at night.	Driveway entrance is off Batchelor St, Torrens. Maps attached.	

School Principal Name: Rachel Matthews

Date: 13th September 2022

Dear Principals and Business Managers,

The Education Directorate is funded to undertake small to medium works as identified in project categories at **Attachment A**. Upgrading facilities and infrastructure in ACT public schools through the annual Public School Infrastructure Renewal Program (PSIRP).

The Infrastructure and Capital Works (ICW) branch is seeking annual proposals from schools to assist in the development of the 2023-24 PSIRP. ICW is requesting input from your school and your school community. This is also an opportunity to update your previous infrastructure upgrade project priorities.

The annual PSIRP is endorsed by the Education Directorate and Minister for Education and Early Childhood Development each year as a rolling program.

Please review and complete the Request for Proposal Form at **Attachment B** and return to ESOInfrastucture@act.gov.au by **14 October 2022** with any supporting documentation for your proposal to be included with your submission.

If you have any questions regarding this proposal process, please do not hesitate to contact Richard Hooper at Richard.hooper@act.gov.au or on [REDACTED]

Regards,

John Nakkan
Acting Executive Branch Manager
Infrastructure and Capital Works

6 September 2022

Attachment A

Future Public School Infrastructure Renewal Program (PSIRP)- Request for Proposals Information

The PSIRP has sub-categories within the program. These categories are to ensure that all areas of the school infrastructure portfolio are considered at the school and system level. Schools are encouraged to consider each of these areas and to submit their proposal under the appropriate subcategory.

Project Categories:

CATEGORY 1: School Learning Area Improvements: Improvements to areas directly used for teaching and learning. Project examples such as upgrading teaching spaces (including preschools), learning support units, science labs, hospitality areas, technology, library area upgrades and modifications to increase school capacity.

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Attachment B
Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name: Calwell Primary School

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
EXAMPLE ONLY	<i>Classroom upgrade</i>	<i>1</i>	<i>Expansion of classroom 1 to increase student numbers and provide class flexibility</i>	<i>Attached marked up floor plan showing classroom 1</i>	<i>Contractor's quote attached \$50k</i>
<i>4</i>	<i>Roof replacement</i>	<i>4</i>	<i>Roof repairs or replacement, Across learning units and administration buildings. Building with multiple leaks in learning spaces and walkways. Damage to surfaces such as internal roof panels and carpet, ongoing mould issues.</i>	<i>Admin, Scrivener, Corin, Googong and Bendora</i>	<i>ICW have roof report and quotes See attached roof reports</i>
<i>1</i>	<i>Heating replacement in learning Units</i>	<i>4</i>	<i>Heating in Units frequently not working and reported to HVAC, classrooms often left without heating</i>	<i>Scrivener, Corin, Googong and Bendora</i>	<i>ICW have arranged a audit See attached reported repair dates for winter 2022</i>
<i>3</i>	<i>Landscaping (Preschool)</i>	<i>7</i>	<i>Tree in yard fell leaving a very bare area. New landscaping needed</i>	<i>Preschool outside play space</i>	<i>Fallen tree photo attached. Area now bare with No grass or shade</i>
<i>5</i>	<i>Flooring (Preschool)</i>	<i>1</i>	<i>Replace old carpet with Vinyl wood lock flooring.</i>	<i>Preschool Classrooms</i>	

			<i>Better for Hygiene and cleaning</i>		
6	<i>External Lighting</i>	6	<i>Lighting around School building inadequate or not functioning. Safety issue and security issue</i>		
7	<i>Traffic – Carpark lines</i>	6	<i>Carpark lines and arrows needing repainting</i>		<i>\$9966 quoted ACTPG reference RC01818 see attached quote</i>
8	<i>Meeting Space</i>	2	<i>No rooms available for a meeting space.</i>		
2	<i>Resurfacing the Blacktop area</i>	7	<i>The blacktop was re surfaced with an epoxy coating that has deteriorated cracking and bubbling causing trip hazards</i>	<i>Concreted area under shade structure in playground.</i>	<i>See photos attached</i>

School Principal Name: Linda Neeson

Date: 14/9/22



Reports to HVAC regarding heaters not working in the Learning Units

6/5/22 – Bendora

31/5/22- Corin

1/6/22- Corin

6/6/22 – Scrivener

15/6/22 – Googong and Bendora

21/6/22- Corin

22/6/22- Bendora

27/6/22- Bendora

18/7/22 – Corin and Googong

9/8/22- Corin

3/8/22 – Bendora

22/8/22- Corin and Bendora

12/9/22- Corin



Po Box 777, Fyshwick, ACT, 2609

Telephone: 02 6213 0700 | Email: actpg@act.gov.au

ACT Property Group

Minor Quotes

Quote Reference: RC01818

QUOTE DETAILS

Site address: Calwell Primary School	
Client name: Jennifer Hartcher	Phone no: 6142 1904
Quoting officer: Karlie Passerini	Phone no: 6213 0700
Quote amount: \$9,966.40 Ex GST, Inc 12% management fee	Quote date: 08/04/2022

QUOTE DESCRIPTION

DESCRIPTION: Above quote in relation to work order: 195039

Scope of works:

- Site Establishment
- Eradication of Redundant Pavement Marking (Black Paint N Grit)
- Barrier Line (B2) White
- Continuity Line (C3) White
- Continuity Line (C3) Yellow
- Continuity Line (C2) Paint
- Red Kerb only
- Paint 50mm Top of Stair White
- Basketball Court White
- Netball Court Yellow

QUOTE APPROVAL

--

/ /

EX GST

(Client – If go ahead is authorised)

TERMS & CONDITIONS**ACCEPTANCE OF QUOTE**

The client can sign the actual quote and provide order details via email or fax: 6213 0734 ensuring that the relevant "Quote reference" is provided.

PAYMENT

Full payment is required within 14 days of invoice. For details of payment options please call ACT Property Group (ACTPG) Ph: 6213 0700, located at 255 Canberra Ave Fyshwick ACT 2609

WARRANTY

- All new work is warranted for 6 months
- Maintenance work has 30 days warranty, excluding any effect from existing causes
- Proprietary items carry the manufacturer's full warranty

VALIDITY

This quote is valid for 30 days from the date of issue. ACTPG reserves the right to review the quote if not accepted within the validity period.

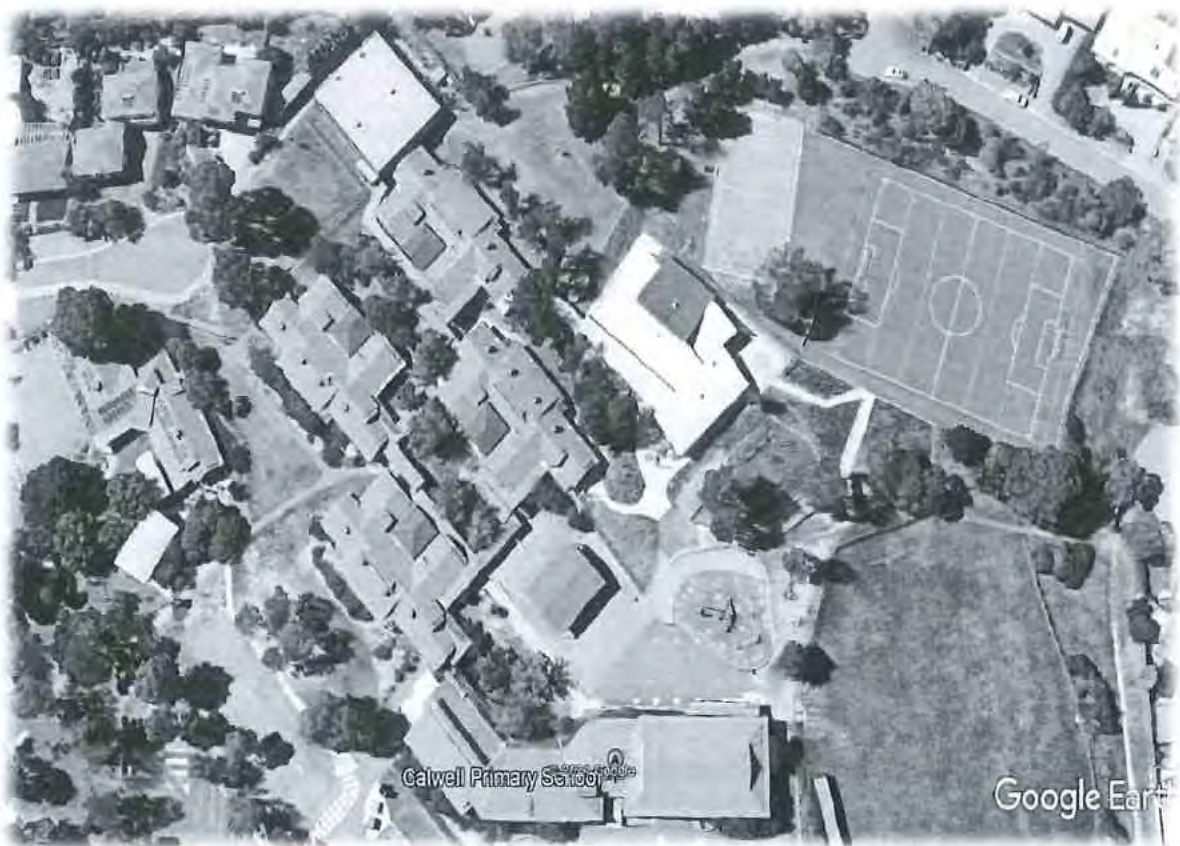
IMPROVEMENTS / COMPLAINTS

If you have any suggestions or issues in relation to our service, please contact the Property Projects & Services Manager on – Ph: 6207 6908

- Building, Fire, Electrical & Mechanical • Minor Building Construction • Complete Building Maintenance • 24 hr Emergency Maintenance • Planned / Periodic Maintenance • Maintenance Assessments & Reports

ACCREDITATION – QUALITY ASSURANCE CERTIFICATION ISO9001, ACT GOVERNMENT PRE-QUALIFIED

ROOF CONDITION REPORT, CALWELL PRIMARY SCHOOL, CASEY CRESCENT, CALWELL



Prepared by [REDACTED] on 12/03/2024
City of Casey ACT Public Works



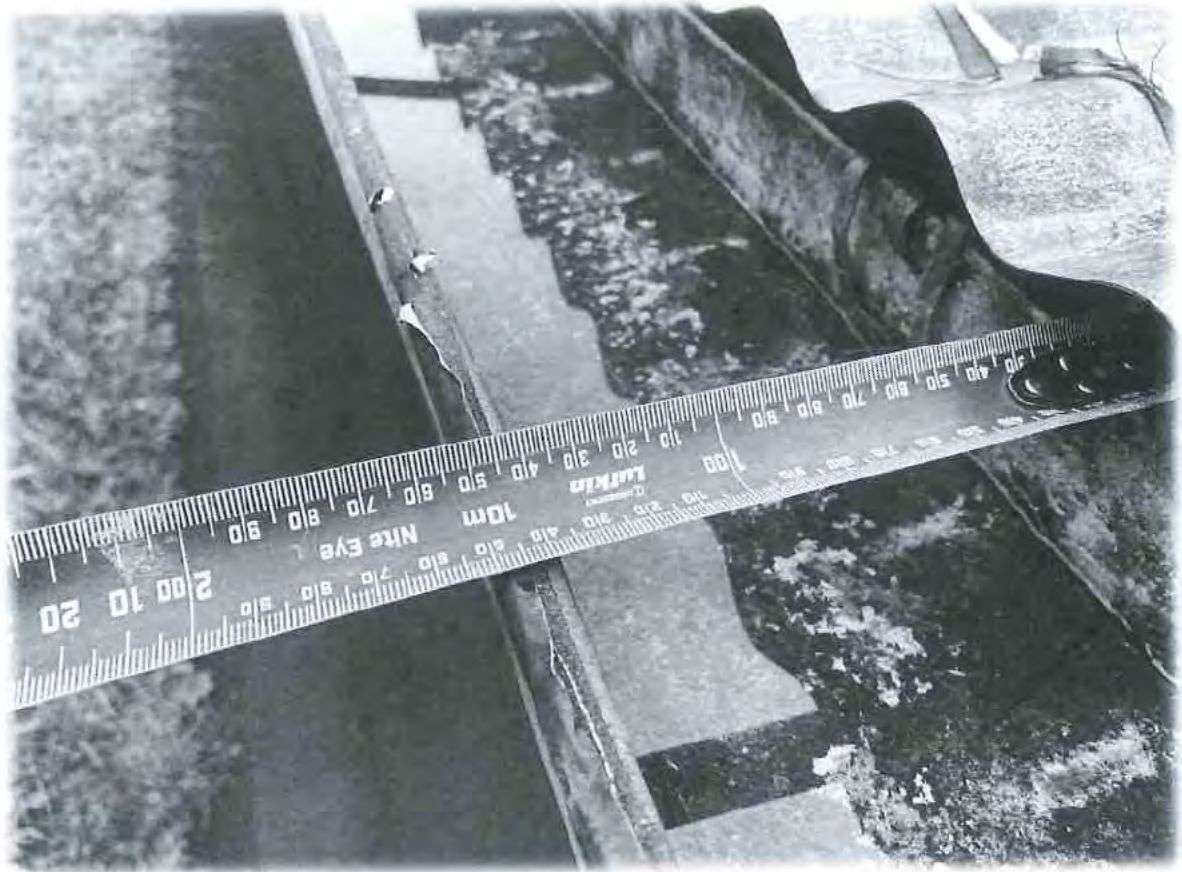






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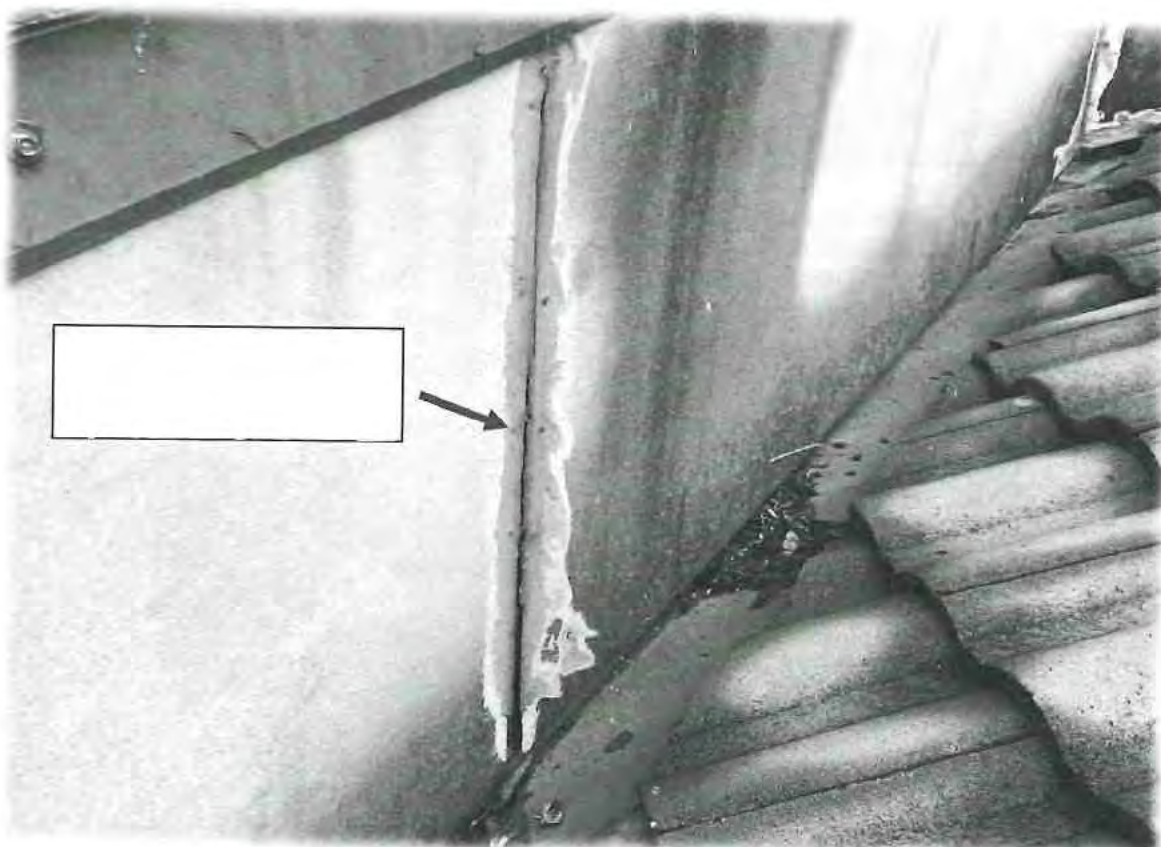
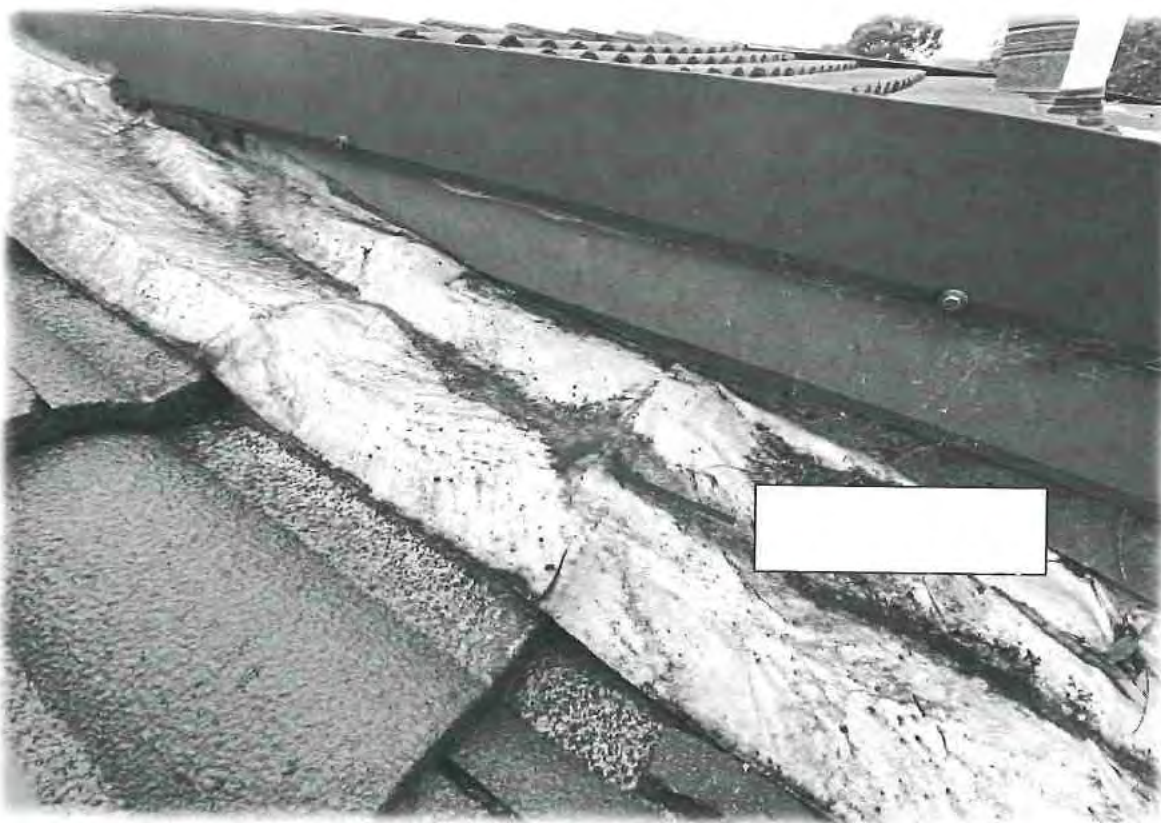


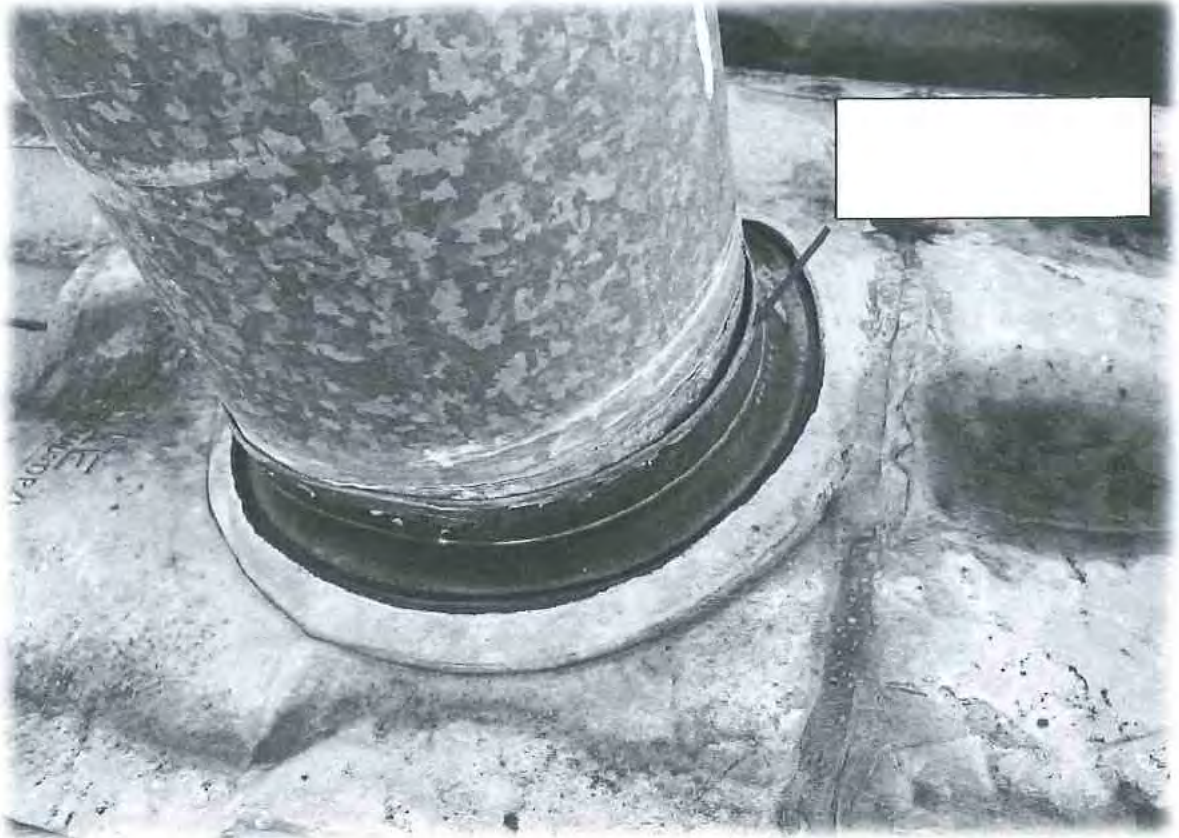


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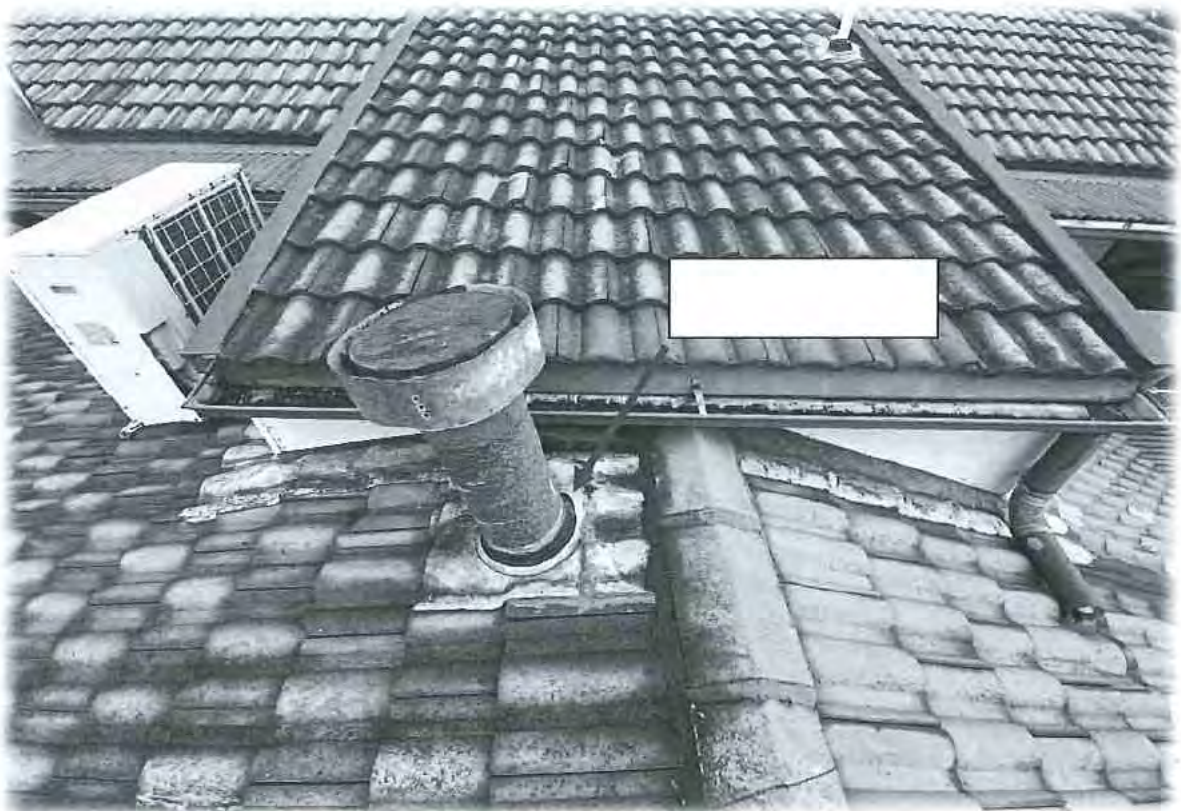


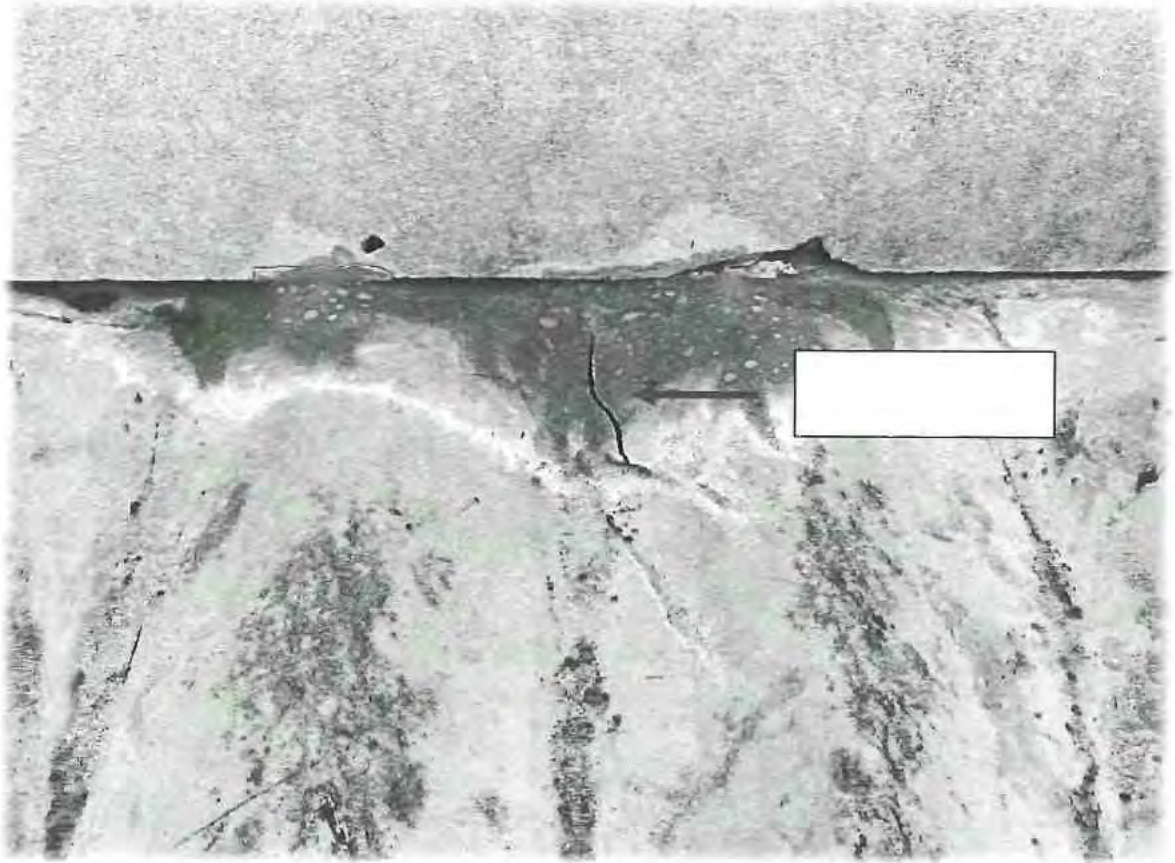




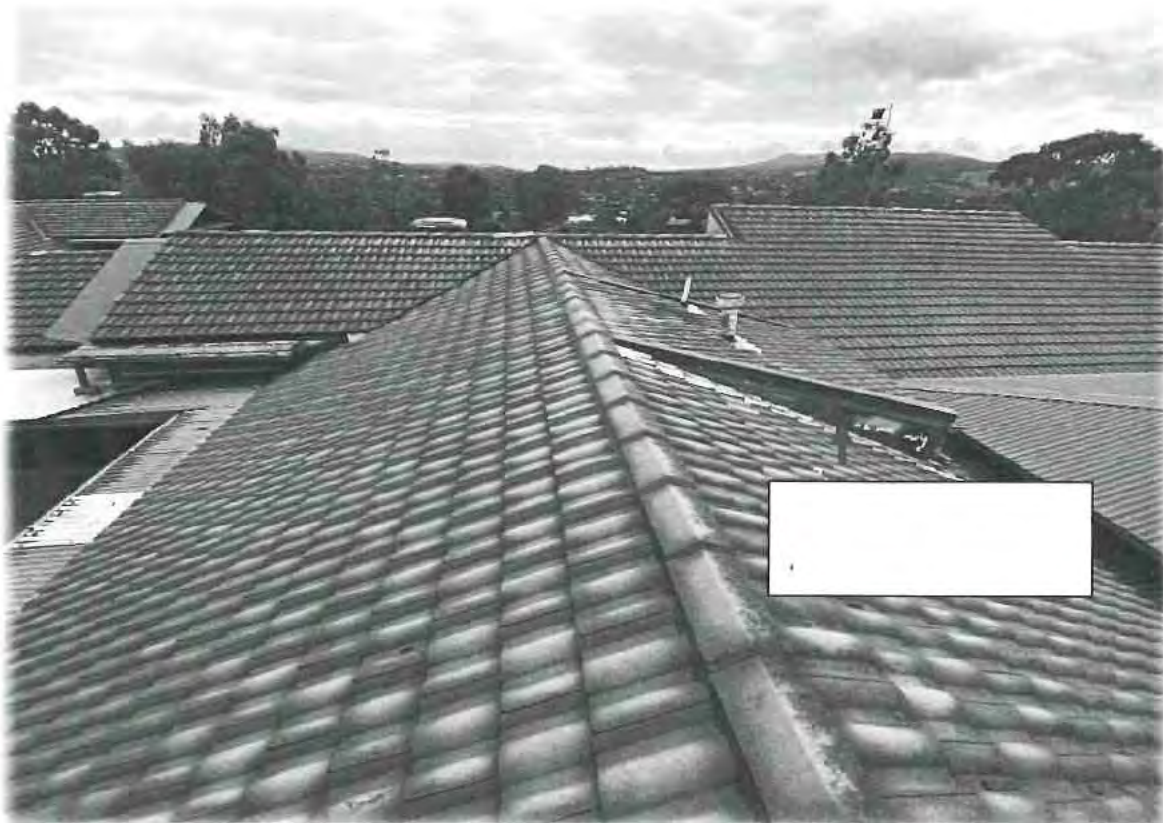
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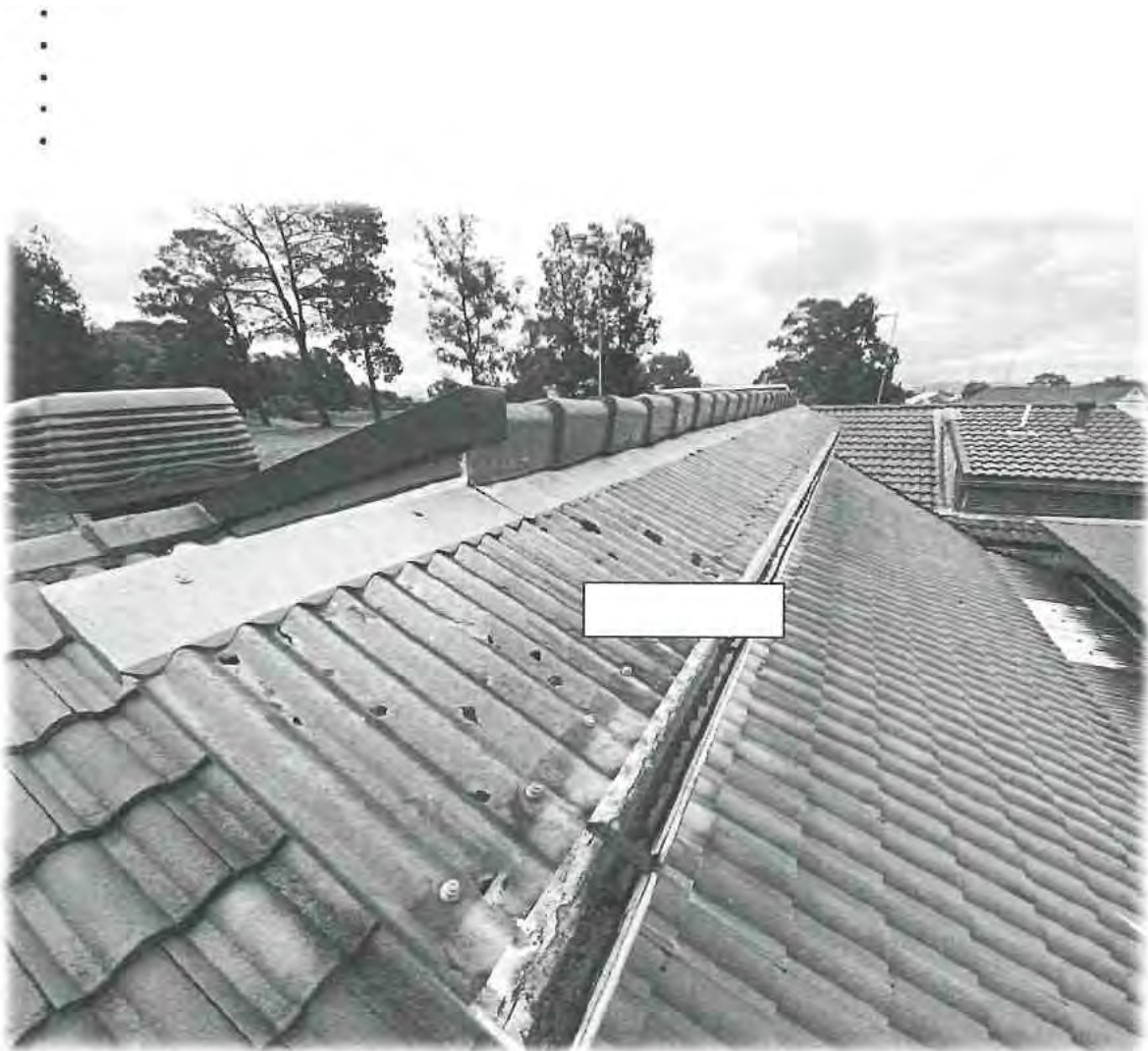




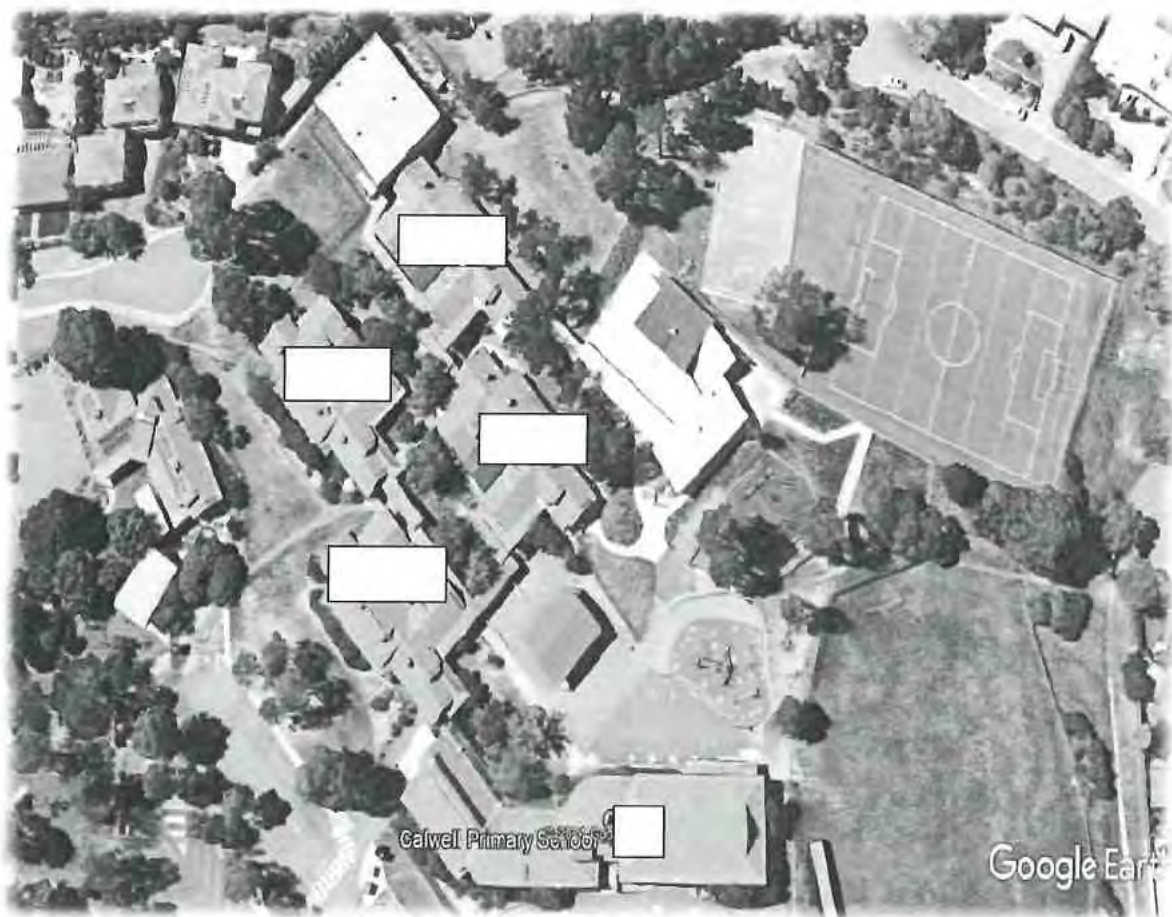












ROOF REPORT

**CALWELL
PRIMARY
SCHOOL**

**CASEY CRES
CALWELL
(BLK 21 SECT 751)**

REPORT: L379-0420-1



ROOF REPORT

1877-0420-1

CALWELL PS
CREEK C. 15

ENCLOSURE REF





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SOUTH

The southwest block has a ... and leak at ... roof ...
 re ... the roof plan, this is probably ... leak at the ...
 traced.
 This building is quite new and the ... of the roof is ...

... of the ...
 ... and ... to be ...
 ... in good condition.



P3



P7

P8



P11

P12





Dear Principals and Business Managers,

The Education Directorate is funded to undertake small to medium works as identified in project categories at **Attachment A**. Upgrading facilities and infrastructure in ACT public schools through the annual Public School Infrastructure Renewal Program (PSIRP).

The Infrastructure and Capital Works (ICW) branch is seeking annual proposals from schools to assist in the development of the 2023-24 PSIRP. ICW is requesting input from your school and your school community. This is also an opportunity to update your previous infrastructure upgrade project priorities.

The annual PSIRP is endorsed by the Education Directorate and Minister for Education and Early Childhood Development each year as a rolling program.

Please review and complete the Request for Proposal Form at **Attachment B** and return to ESOInfrastucture@act.gov.au by **14 October 2022** with any supporting documentation for your proposal to be included with your submission.

If you have any questions regarding this proposal process, please do not hesitate to contact Richard Hooper at Richard.hooper@act.gov.au or on [REDACTED]

Regards,

John Nakkan
Acting Executive Branch Manager
Infrastructure and Capital Works

6 September 2022

Attachment A

Future Public School Infrastructure Renewal Program (PSIRP)- Request for Proposals Information

The PSIRP has sub-categories within the program. These categories are to ensure that all areas of the school infrastructure portfolio are considered at the school and system level. Schools are encouraged to consider each of these areas and to submit their proposal under the appropriate subcategory.

Project Categories:

CATEGORY 1: School Learning Area Improvements: Improvements to areas directly used for teaching and learning. Project examples such as upgrading teaching spaces (including preschools), learning support units, science labs, hospitality areas, technology, library area upgrades and modifications to increase school capacity.

CATEGORY 2: School Administration and Support Area Improvements: Improvements to the staff, administration and areas for community access to school facilities. Project examples such as upgrading administration areas, student and staff toilets, canteens, staffrooms and community meeting rooms.

CATEGORY 3: Accessibility Compliance: Addresses access requirements for students and staff who require support and the provision of appropriate learning spaces for all students. Project examples such as access ramps, accessible toilets and specialty infrastructure installations. An occupational therapist report is required when developing significant proposals of this nature for individual students.

CATEGORY 4: School Infrastructure Revitalisation: Improvements to the base infrastructure of the school. Project examples such as upgrading heating and cooling systems, major roof repairs, sewer and stormwater rectification and electrical upgrades.

CATEGORY 5: School Security Improvements: Improvements to the security of ACT public schools and facilitation of access by the community. This could include a wide range of measures such as new school fences or modifications to existing fences to allow community access, external lighting, general security upgrades, front office security measures and responding to the Directorate's security initiatives.

CATEGORY 6: School Safety Improvements: Improvements to the safety of ACT public schools. Projects such as car park and traffic safety, removal of hazardous materials and addressing other issues as they arise.

CATEGORY 7: External Learning Environments: Upgrades of the external areas at ACT public schools. Projects include landscape master planning, play equipment upgrades, shade structures, outdoor learning environments, hardcourts, courtyards and tree planting.

CATEGORY 8: Building Envelope and Energy Efficiency Improvements: These are projects responding to the ACT Government's requirements for improved energy and operational efficiency, and sustainability performance. Projects may include double glazing, insulation, building control systems, auto doors/air locks, draught proofing and heating and cooling efficiency measures. Please note these proposals will be assessed in consultation with the Environmental Sustainability team within ICW and have the potential to be joint funded with the school through the Solar Feed in Tariff.

Attachment B

Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name: Kingsford Smith School

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
1	External learning environments - Upgrade (removal and replace) of current basketball courts and hoops for both primary and high school areas	7	The current facilities for the primary school are 4 fixed rings around one single pole. These fixed rings are of sub-standard height, not adjustable and they are currently falling apart. There are no marked courts as the 4 rings are around one pole and they are located very close to one of the school buildings and roofline. This allows for limited options with teaching and learning with fundamental motor skills compromised due to basic infrastructure not meeting the requirements to facilitate appropriate skills development. Not having a defined court also impedes the development skills and teamwork. The area as it is leads to high level of equipment loss. This area would also be used during structured playtimes and allow the development of junior basketball teams, clubs as identified through suggestions by the KSS SRC.	Attached – photographs of the current site. Map of location within school. This upgrade will be in both the primary and high school areas.	\$44550.00

			<p>The current hoops at the high school are not adjustable, and therefore do not meet the needs of our students who require adjustments to ensure access to their learning. These non-adjustable hoops also do not allow for the correct development of basketball skills.</p> <p>The current inability to adjust the height of all the rings, impacts the inclusivity of allowing all students to participate. Increasing the durability of all these hoops will also reduce the work health and safety issues.</p>		
2	External learning environments - Implementation of a long jump and synthetic runup	7	<p>The addition of a long jump pit will enhance learning outcomes for students across a range of curriculum areas. This addition will also promote safe participation in units of work and athletic events. Having this facility onsite will increase access for all students regardless of individual needs and will eliminate the need to access external providers.</p>	<p>Attached – photographs of the current site. Map of location within school. The long jump pit will run parallel to the current school oval.</p>	<p><i>Excavation of site</i> <i>Form the pit</i> <i>concrete pit and runway</i> <i>Apply synthetic track</i> <i>Cover for sandpit</i> <i>Sand</i> <i>Still awaiting final estimated cost.</i></p>

School Principal Name: Paul Branson

Date: 14/09/2022





















Long Jump Pit Site Pictures









We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.



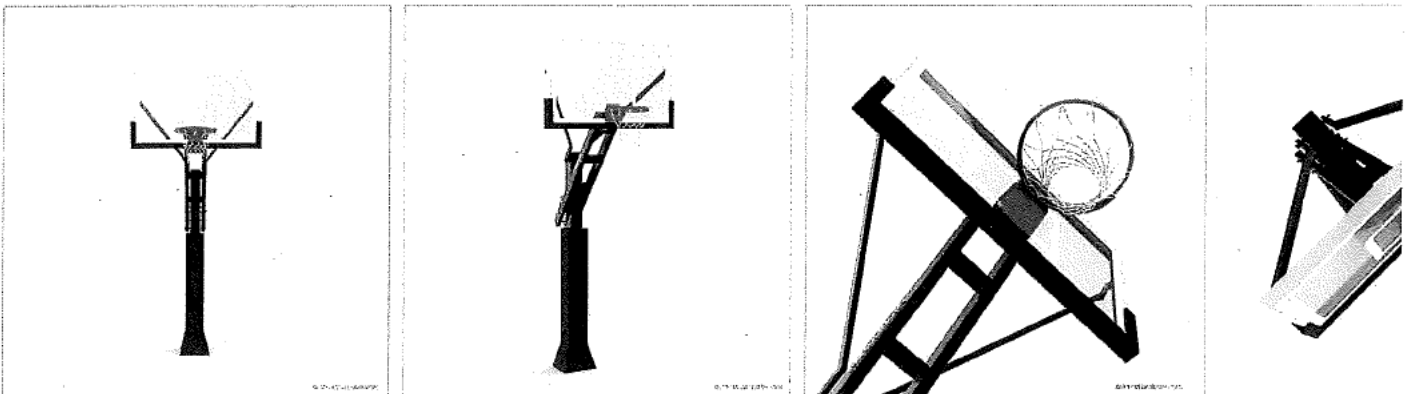
[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)

COLLEGIATE RIM 160° PRO RIM®

ADD TO CART

CURRENTLY IN-STOCK

Enter Zip Code for estimated delivery date.



We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.

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MORE +

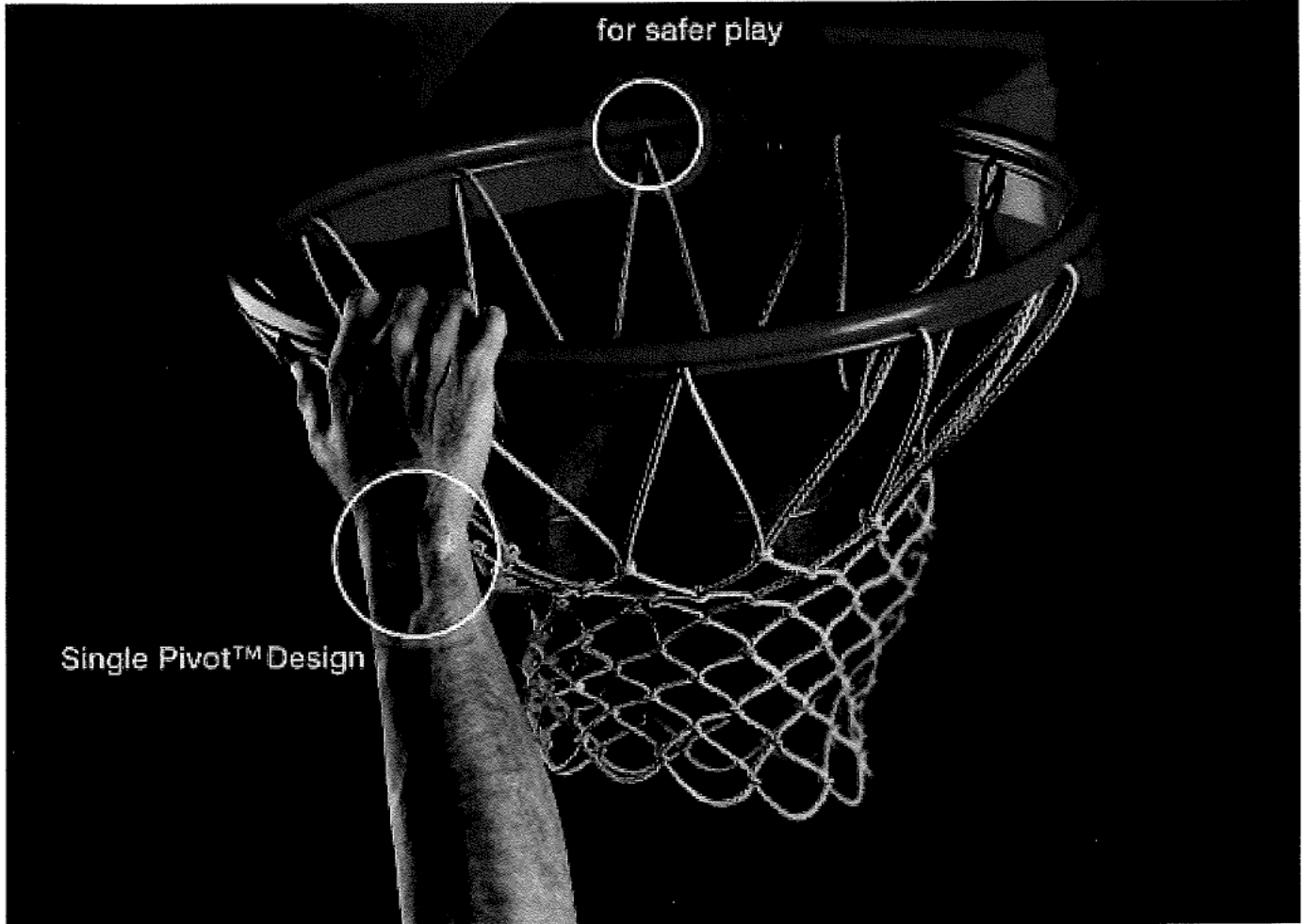
FEATURES

The MegaSlam 60 offers pro features while bringing all the durability and playability of a Mega Slam Hoop. The backboard measures 60" x 36" with a 3-foot overhang from the rock-solid 6" x 6" main pole. It's a good adjustable-height hoop that fits 2-car driveways or tighter court spaces.

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



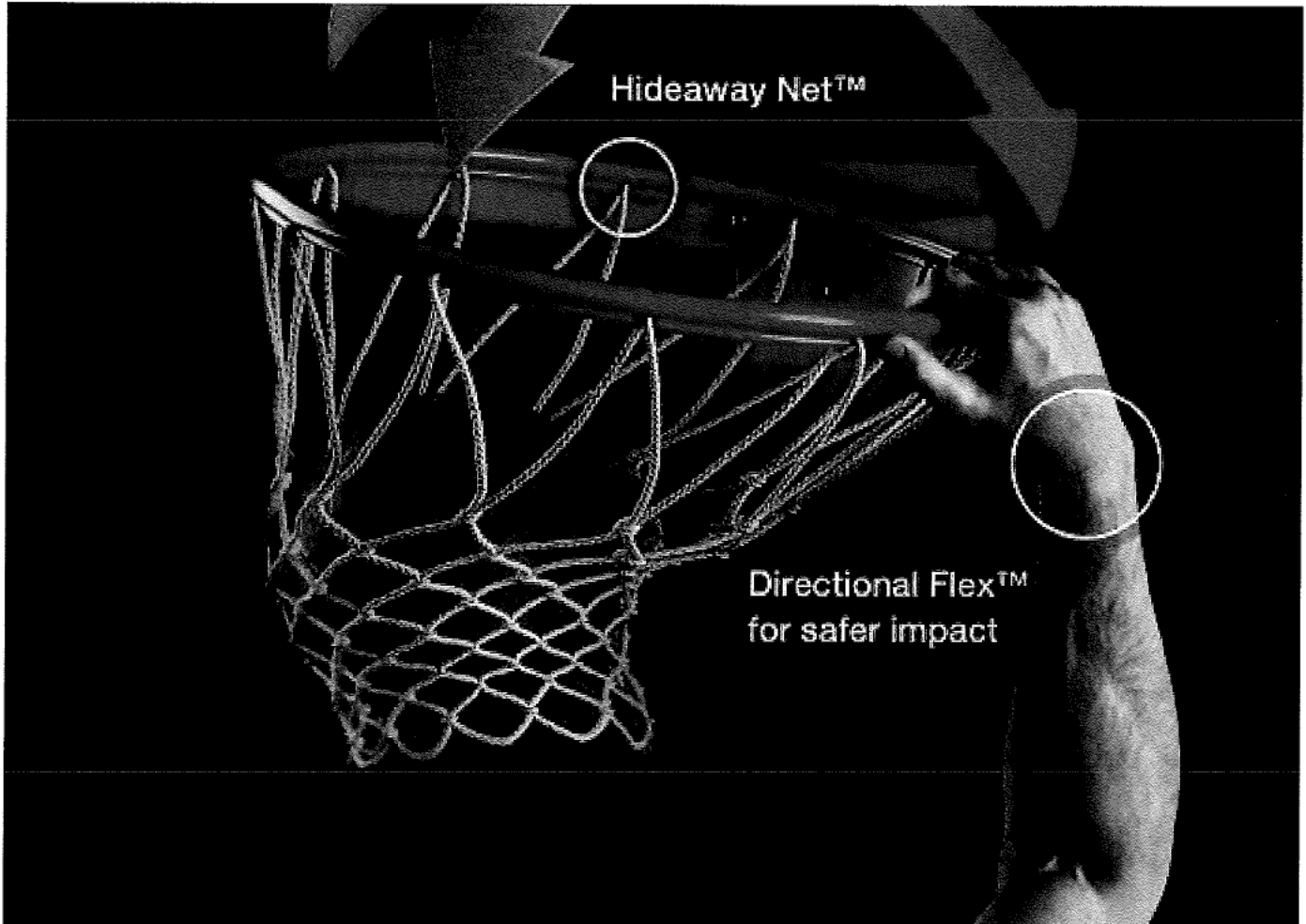
COLLEGIATE FLEX™ RIM

Our Collegiate Flex® rim comes standard on the MegaSlam 60. The patented design offers break-away action with our Single Pivot® engineering, allowing for slam dunks on the front of the rim.



We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.

[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



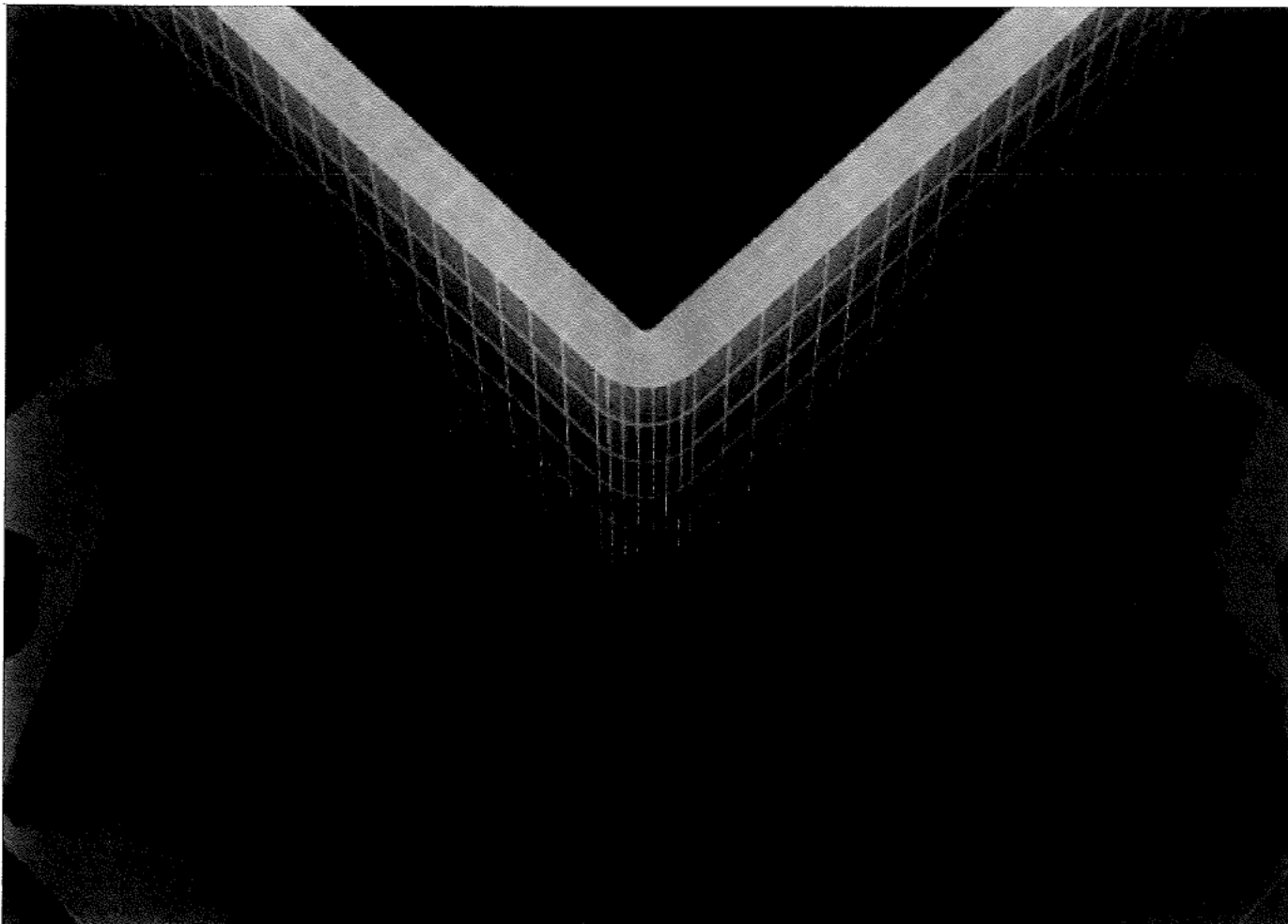
180° PRO RIM™ UPGRADE

Upgrade to our pro-style rim which offers break-away action from a full 180° like the rims the pros use. Directional Flex® Technology allows for slam dunks in any direction. Recessed Hideaway Net® attachment protects your hands when jamming. [REDACTED]

We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.



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5-GAUGE STRONG STEEL POLE

The thickest steel main pole of any outdoor hoop on the market, our 5-gauge super-rigid steel thickness allows for a rock-solid game with little shaking or swaying. Double the thickness vs. brands sold at big box stores.

Industry leading quality assurance utilizing professional third party inspectors to independently verify legitimate steel thickness.



We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.

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NO-BREAK BACKBOARD PROTECTION™

We realize that sometimes life happens...

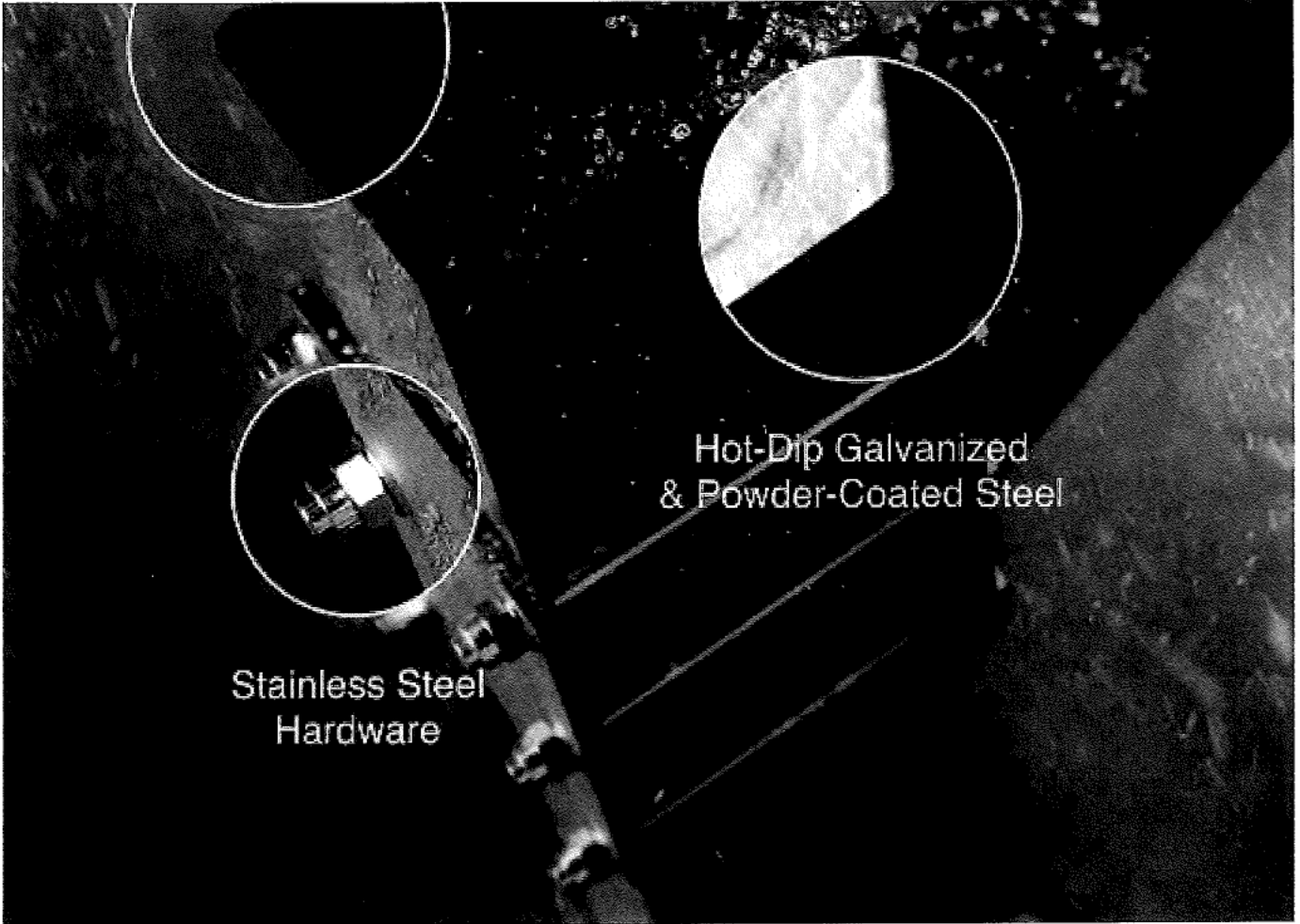
Lifetime warranty for all play related incidents, and one-time replacement guarantee for non-play related incidents.

[Read more.](#)

We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.



[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



ALL SEASON PROTECTION

Every Mega Slam Hoop comes ready for scorching summers, rainy springs, and frozen winters with hot-dipped galvanized steel and stainless steel hardware. Standard.



We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.

[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



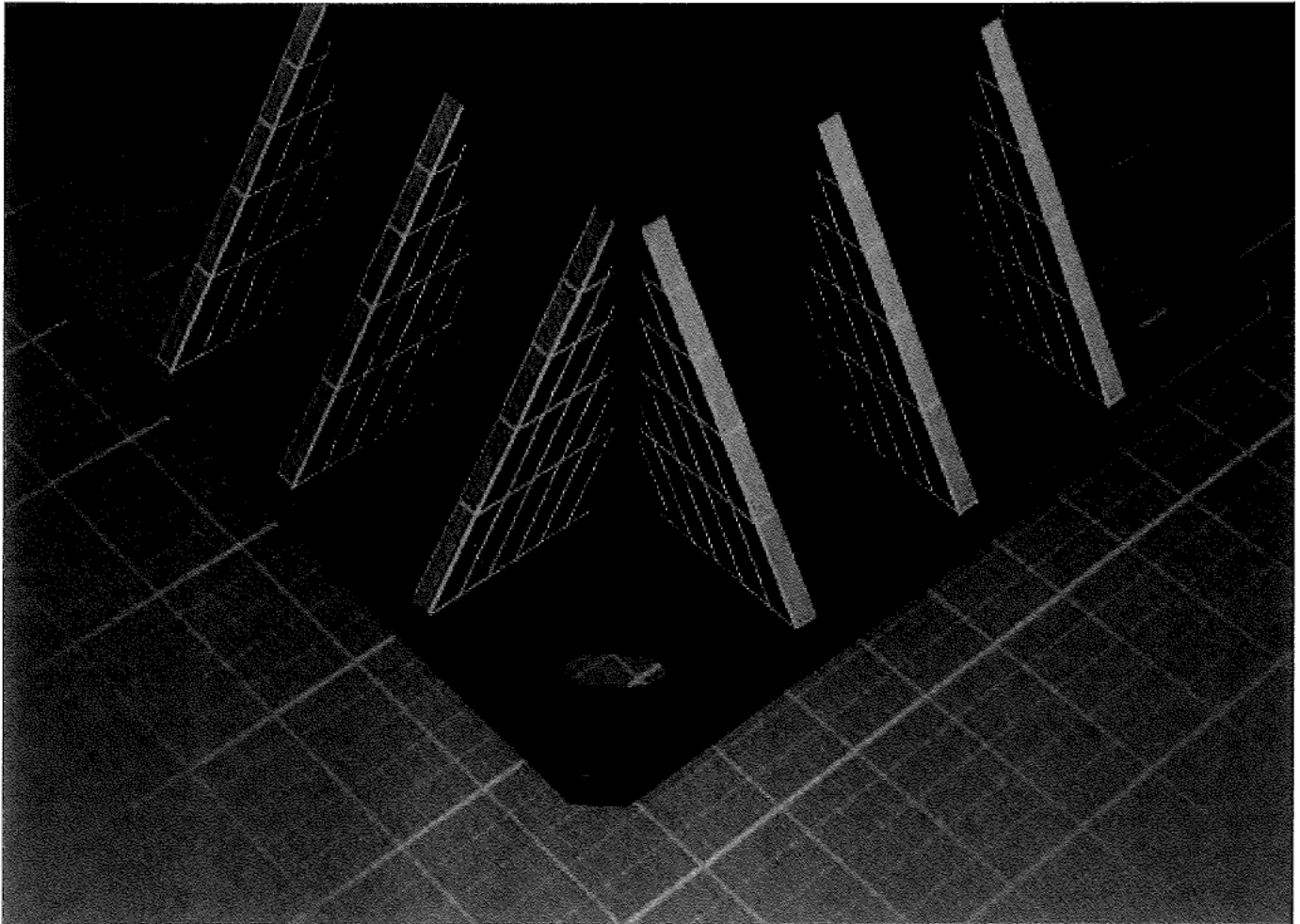
LIFETIME WARRANTY

We stand behind our basketball systems and guarantee great performance for a lifetime of play — even down to the nuts and bolts.

[Read the details](#)

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)

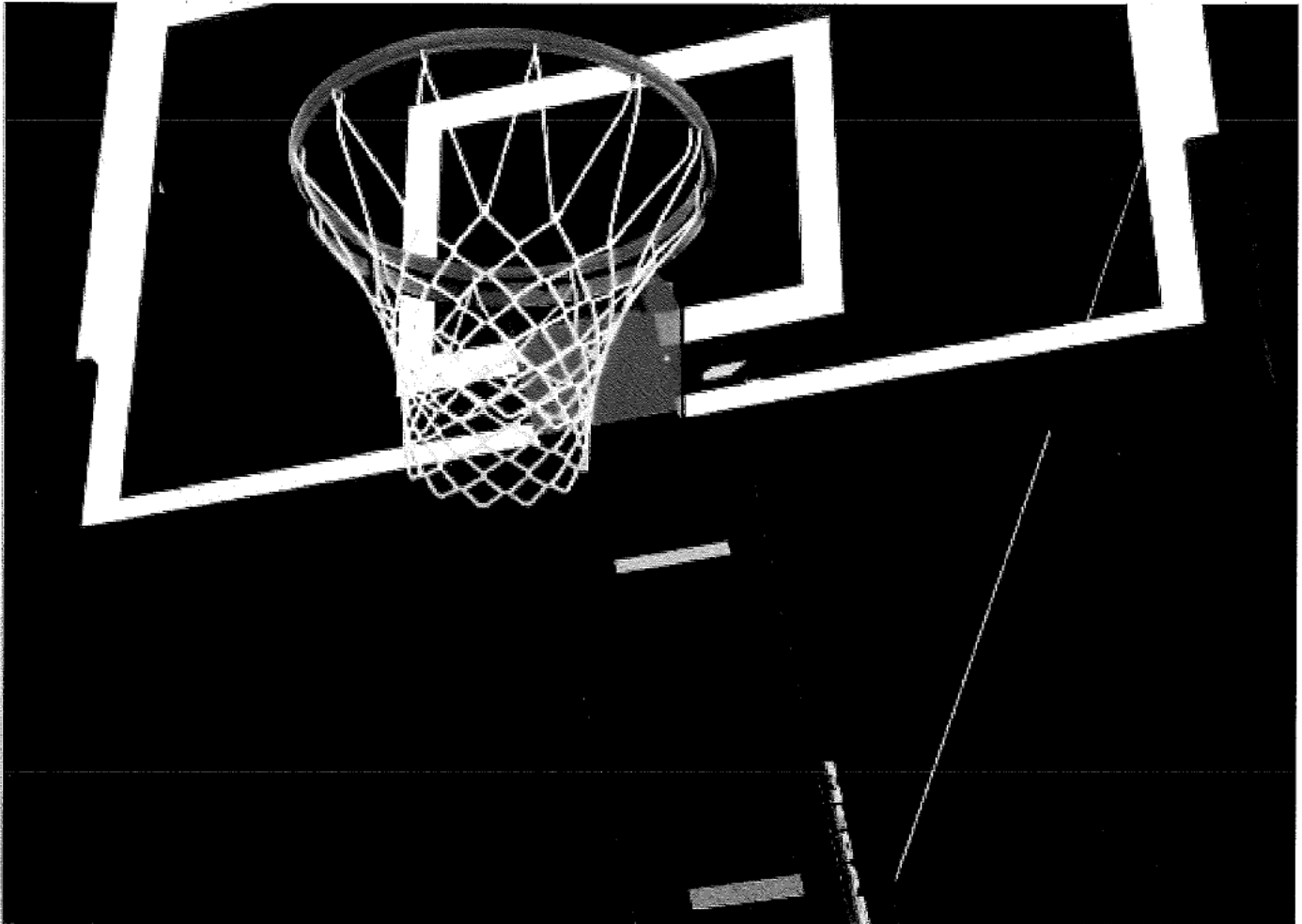


SOLID BASE

The MegaSlam 60 main pole is reinforced with 12 gussets, which is 50-75% more support than the competition.

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



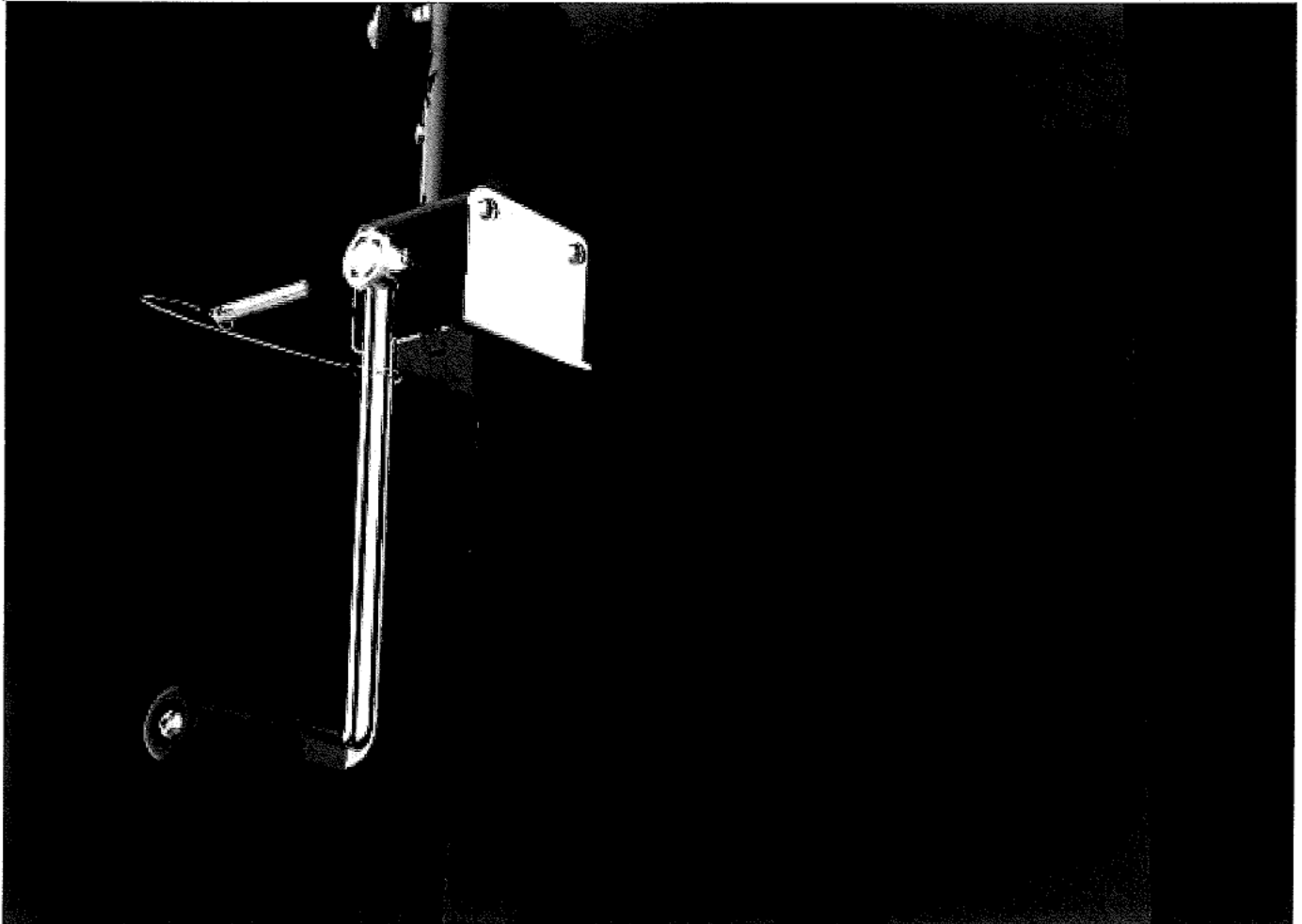
REGULATION THICKNESS

With a regulation, ½-inch thick glass, the MegaSlam 60 backboard measures 60" x 36" and provides maximum ball response. You also see clean looks through the unobstructed clear-view backboard design.

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EASY HEIGHT ADJUSTMENT

The MegaSlam 60 lowers from 10-feet to 5-feet, so players of all sizes can dunk all day long.

WHAT'S INCLUDED?

From no-hassle shopping and delivery to guaranteed years and years of play—we strive to deliver the best experience possible.

Ask the other guys if they can say the same.

WITH
EVERY

IN YOUR
MEGASLAM



We have updated our shipping fees for metro residential deliveries. Commercial delivery is to a business address with a forklift to unload, or to a freight depot. For regional or commercial deliveries, please contact us for a quote.

Overview Gallery Features Compare Reviews

MEGASLAM 60

Advertised Price
\$3049

All-in Price
\$3049

Shipping
Not Included

Galvanized Rust Protection
Included

Rim Type
Collegiate Flex Rim with "Hideaway Net" (180° Pro Rim Upgrade Available)

- Backboard padding
- Stainless steel hardware
- Anchor kit with (4) J-boits and rebar
- Limited lifetime warranty
- No-Break-Backboard Protection®

Rim with Single Pivot® Break-Away Design

- 1 UV coated net
- Upper and lower adjustable steel arms
- Height actuator and adjustable crank
- 2" - thick padding for main pole and base
- **Single Spring Breakaway Rim with Net Hooks (Single Pivot Limited Flex)**
- 1" - thick backboard padding

Goalrilla® CV60

Advertised Price*
\$2999

All-in Price
\$2999

Shipping
Not Included

Galvanized Rust Protection
Included

Rim Type

* Check competitor websites for most current pricing.

LEVEL UP OR DOWN?

Swipe left or right to size up the different Slams

XL
\$4099



Backboard
72"

Overhang
1500mm

Pole size
300x200mm

Weight
397kg

Our biggest & most rigid play. All pro features come standard. Best for

72
\$3599



Backboard
72"

Overhang
1200mm

Pole size
200x150mm

Weight
336kg

Our most popular hoop. Pro-sized backboard, More rigid play. Great for

60
\$3049



Backboard
60"

Overhang
900mm

Pole size
150x150mm

Weight
272kg

Our most versatile-sized hoop. It's made for mega fun on a smaller sized.

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)

ONE-ON-ONE WITH THE COMPETITION

Watch as a customer compares the Mega Slam and Pro Dunk quality and craftsmanship.

MEGA SLAM VS EVERYBODY

MEGASLAM 60 VS EVERYBODY

Compare the MegaSlam 60 to the competition. Use the competition column to select different models.

MegaSlam 60 Advantage

MEGASLAM 60

PLAYABILITY

Backboard Material

1/2" Regulation thickness

3/8"

Backboard Design

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Overview Gallery Features Compare Reviews

Main Pole Size

6' x 6'

5.5' x 5.5"

Base Gussets

12

4

ADJUSTABILITY

Height Adjustment Range

5' to 10'

7.5' to 10'

Engineered Lift Assist

Yes

No

DURABILITY

No-Break Backboard Protection

Yes

No

Pole & Extension Arm Caps

Welded Steel (stronger)

Plastic inserts (weaker)

Rim Attachment

Direct-to-extension arm - full glass cut out

Direct-to-extension arm - full glass cut out

Hot Dip Galvanized Steel

Yes

Yes

Warranty

Dunking & Hanging Covered

No Dunking or Hanging on Rim

SAFETY

Pole Padding

Free Backboard Pad

Yes

Extra Cost

PRICE

Total Price Including Stainless Steel Bolts and Rust Protection

SEE FULL SPECIFICATIONS

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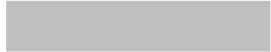
[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)

REVIEW OF A MEGASLAM 72

"It's like having a real NBA goal in your backyard."

Arrange by **Latest**

January 03, 2018



GREAT PRODUCT. CLEAR INSTRUCTIONS

I'm very pleased so far with my Megaslams 60. Installation instructions were clear and accurate and that thing is rock solid. I did encounter a damaged nut that refused to go on to any of the rim bolts, but after letting [REDACTED] know about it they sent a new package that day.

December 30, 2017



HAS TO BE THE BEST ON THE MARKET HANDS DOWN

The goal is very well constructed with high grade hardware. Compared to everything else in it's class, this goal is heads and shoulders above the rest. Shipping was super fast and easy. Packaging was also very well done.

December 27, 2017



MORE +

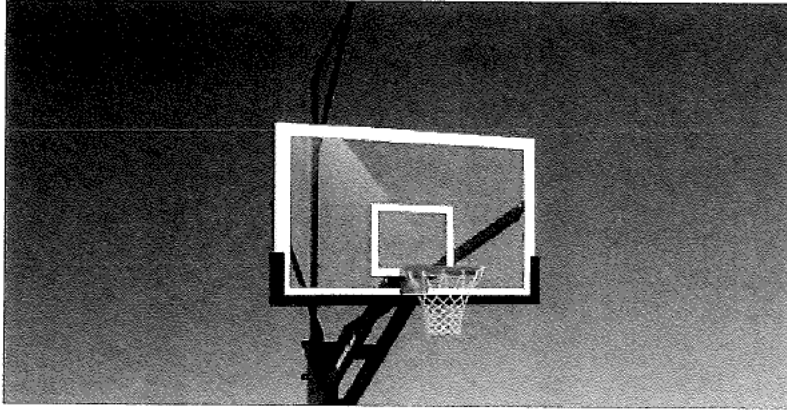
UPGRADE YOUR ULTIMATE SYSTEM

Our Net Protect™ and Game Light™ are made for any free-standing Mega Slam Hoop and go great

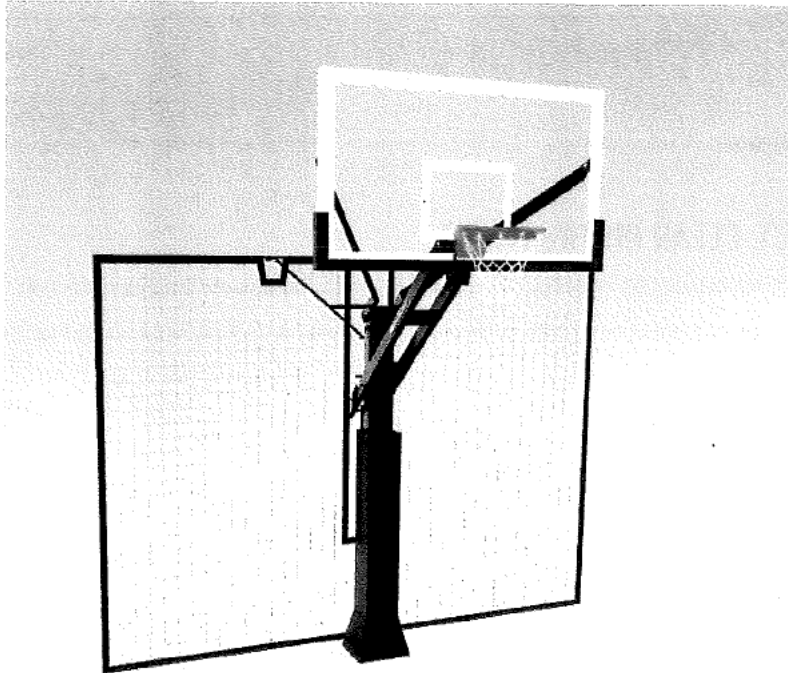


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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



GAME LIGHT™
\$549



NET PROTECT™
\$299

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)

[View Installation Instructions](#)



LIFETIME WARRANTY

We back our systems with a limited-lifetime warranty.

[View Warranty](#)



FAQS

What else you want to know about the Hoops?

[View FAQs](#)

PRODUCTS

[MegaSlam XL](#)

[MegaSlam 72](#)

[MegaSlam 60](#)

[MegaSlam 54](#)

[FX Pro](#)

[FX 72](#)

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[Overview](#) [Gallery](#) [Features](#) [Compare](#) [Reviews](#)



Attachment B

Future Public School Infrastructure Upgrade Programs - Request for Proposals Form

School Name: Caroline Chisholm School

Priority Number	Proposal Description	Project Category	Project Justification	Additional Information / Location (s) Design Documentation	Estimated Project cost (if known)
Please provide any information you have available at this point. As example below. There is no requirement to undertake any additional investigation prior to submitting this form (i.e.: just give us what you have).					
EXAMPLE ONLY	<i>Classroom upgrade</i>	<i>1</i>	<i>Expansion of classroom 1 to increase student numbers and provide class flexibility</i>	<i>Attached marked up floor plan showing classroom 1</i>	<i>Contractor's quote attached \$50k</i>
<i>Junior Campus # 1</i>	<i>Kindy Playground Landscape solution & removal of trees with dangerous exposed tree roots</i>	<i>6 - School Safety Improvements & 7 - External Learning Environments</i>	<p>The Kindy playground is located on a hill with the playground equipment at the bottom resulting in continuous issues with excessive water causing erosion and damage to grounds/mulch. Large tree roots exposed causing trip hazards.</p> <p>If the space cannot be safely rectified as a playground, we would like support to relocate the playground to another space and this area be redesigned for another purpose.</p>	See photos below	
<i>Senior Campus #1</i>	<i>Dangerous slope to evacuation assembly meeting area</i>	<i>6 - School Safety Improvements</i>	<p>Dangerous egress to the basketball courts evacuation assembly area is a dangerous slope that runs down the side of the stone tiering. Exposed rocks and slippery surface.</p> <p>NOTE: this hazard has occurred as a direct result of the installation of the MIJ Building</p>	See photos below	
<i>Senior Campus #2</i>	<i>Installation of bollards along perimeter of Bike track</i>	<i>5- School Security Improvements &</i>	The Bike track facility on the senior campus grounds has recently been installed on the outside of the schools security fence providing access to the	See photos attached	

		<i>7 – External Learning Environments</i>	<p>community. Unfortunately, we have faced on a number of occasions vandalism by vehicles accessing the area causing significant costly damage.</p> <p>This has also posed an increased risk when students and staff are using the space throughout the day, staff need to be vigilant that cars and motorbikes still have access to the space. We would like to reduce this risk.</p>		
<i>Senior campus #3</i>	<i>Roof leaks</i>	<i>4 – School Infrastructure Revitalisation</i>	Roof on all of the Senior Campus buildings have regular leaks - flashing sealant perished due to age	ICW Network officer Cathy Graham organising for roof assessment report 14/09/22	
<i>Senior Campus #4</i>	<i>Heating/cooling upgrades</i>	<i>4 – School Infrastructure Revitalisation</i>	4 executive offices within our 2 learning blocks are not connected to the EVAC system	See plan below – Offices highlighted	

Photos to support Junior campus Priority #1



Photos to support Senior campus Priority #1



Photo to support Senior Campus Priority #2



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Regards,

John Nakkan
Acting Executive Branch Manager
Infrastructure and Capital Works

6 September 2022

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1	<i>Preschool playground safety – To repair root damaged path/main thoroughfare in the Preschool playground.</i>	6	<i>The Preschool playground has tree roots that are now erupting out of the asphalt pathway causing a potential safety issue. The asphalt has split in quite a few areas and is now quite raised. It is a potential trip hazard for students, families and staff.</i>	<i>Attached aerial map with the proposed project marked up in pink. Photos are also attached.</i>	<i>Unknown</i>
2	<i>Entrance foyer – replace lino in the front entrance foyer</i>	2 & 6	<i>The lino in the front entrance foyer area of the school is bubbling and lifting. It looks unsightly and has become a potential trip hazard for all visitors to the school. It is a high traffic area as it is the key entrance point for both the school and our Early Childhood Education and Care providers.</i>	<i>Attached internal plan with the proposed project marked up in yellow. Photos are also attached.</i>	<i>Unknown</i>
3	<i>Preschool verandahs – upgrade the roofing/cover as it leaks when it rains</i>	7	<i>NECS plans to spend approx. \$20-25,000 to upgrade the preschool verandahs at NECS in term 4, 2022. This upgrade will allow staff to run inside/outside programs which will better meet the diverse needs of children. However, every time it rains the resources get wet and children cannot</i>	<i>Attached internal plan with the proposed project marked up in purple. Photos are also attached.</i>	<i>Unknown</i>

			<i>access the space. We are seeking a long-term solution to provide up to date learning spaces and to ensure resources are sustainable and can be used long-term.</i>		

School Principal Name:

Date:



Communities

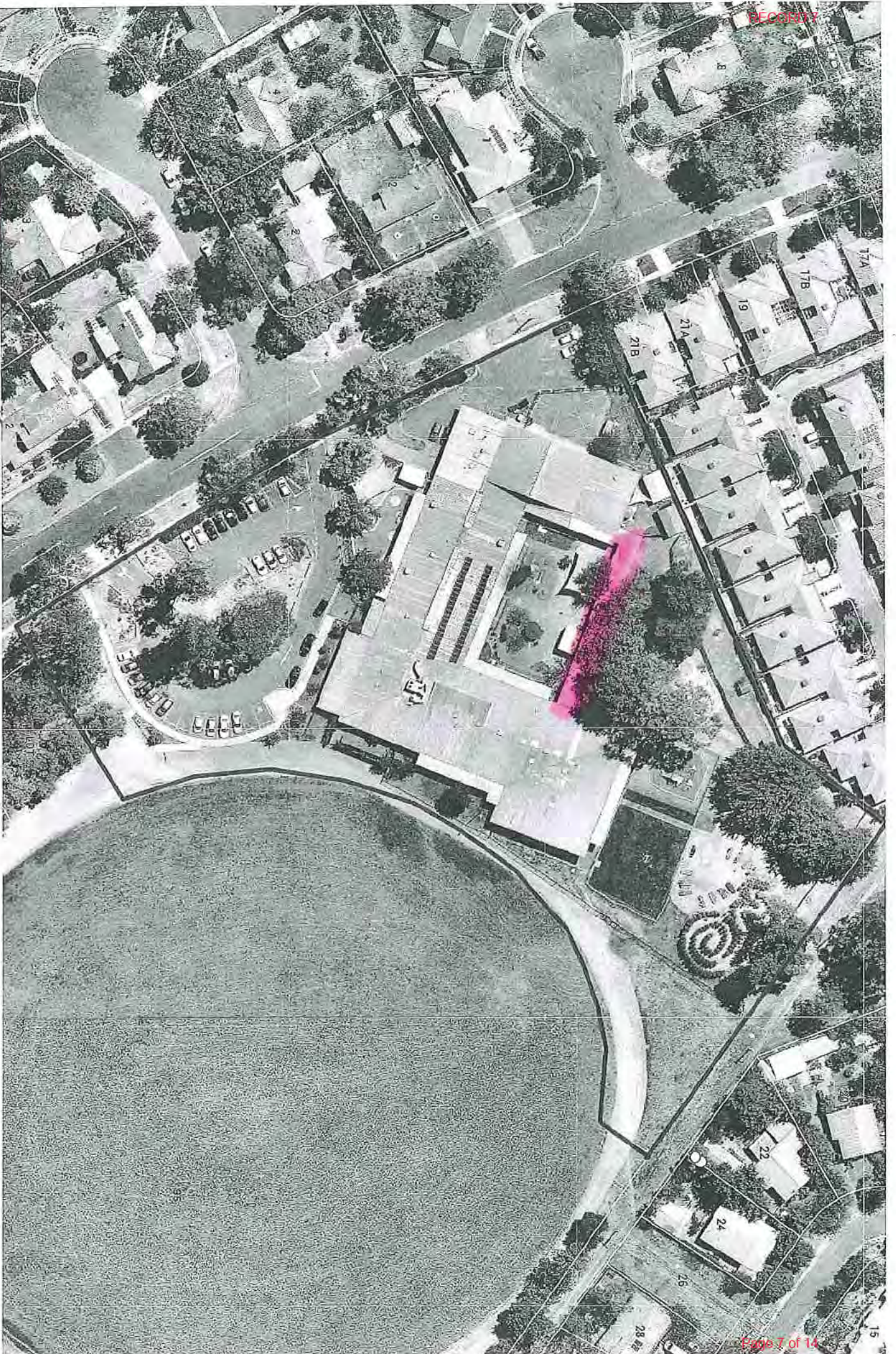
Narrabundah
Early Childhood Service

Enrolments
**now
open**

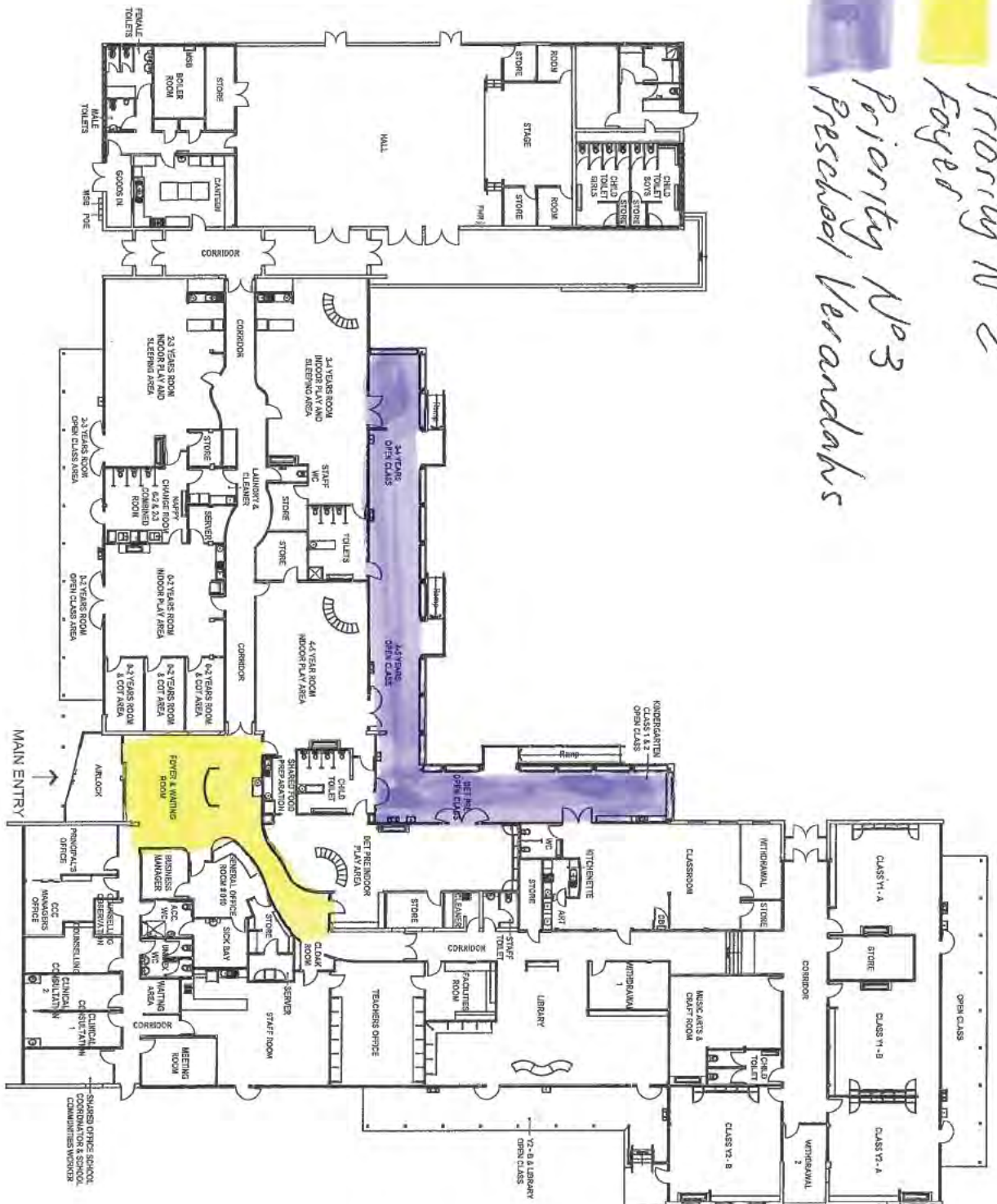
ENQ 2014
30 St Andrew Street, Narrabundah
narrabundah.ecs.org



Priority No 1
Tree roots



Priority No 2
 Foyer
 Priority No 3
 Preschool Verandahs



SCALE	1:300
DATE	DEC 2015
PROJECT	NARRABUNDAH EARLY CHILDHOOD SCHOOL INFRASTRUCTURE & CAPITAL WORKS SCHOOL LAYOUT PLAN
CLIENT	ACT Government Education and Training
DESIGNER	DESIGN GROUP
DATE	DEC 2015
SHEET	SHEET 2 OF 23