



0 510 20 30 40 50 75 100 150 200 250m

155m
146m
149m
138m
289m

North

Scale

Denman Prospect West (northern)

Local centre & Denman Prospect West (southern)

Major Collector

Playing field
Village green
Field 100m x 71m
Pitch 100m x 65m

Gym, School & community Hall

Years 3 to 6

Years 3 to 6

Kindergarten to Year 2

School Library, Admin & gen.

Child care & Preschool

Collectors

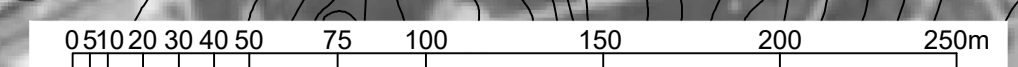
District bus & LRT Interchange

Signalised Intersection

Local Bus Service Holborow Ave

Rapid Bus Service & Future LRT

Rapid Bus Service & Future LRT



Nikolas, Lejla

From: Santosuosso, Daniel
Sent: Thursday, 14 July 2022 11:10 AM
To: Conners, Rohen
Cc: Klein, Liz
Subject: RE: Molonglo Group Centre primary school - Finalised site boundaries

Thanks Rohen,

Will aim to progress the 'Molonglo Group Centre & Surrounds' orthophoto map to reflect the boundaries you have provided.

Have a great day.

Kind regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

Development and Implementation | Environment, Planning and Sustainable Development Directorate | ACT Government

480 Northbourne Avenue | GPO Box 158 Canberra ACT 2601 | www.planning.act.gov.au

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From: Conners, Rohen <Rohen.Conners@act.gov.au>
Sent: Wednesday, 13 July 2022 8:17 PM
To: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>
Cc: Klein, Liz <Liz.Klein@act.gov.au>
Subject: Molonglo Group Centre primary school - Finalised site boundaries

OFFICIAL

Hi Dan

Further to our discussion earlier I wish to confirm today's advice from our school design and development group that the Molonglo Group Centre Primary School site, in its latest form (~4.3ha, *see the re-attached*), is considered 'fit-for-purpose' and can be treated as final for the purpose of EPSDD's Territory Plan Variation and Assurance Package. The design details for the site will of course be worked through at a later stage.

As mentioned, it would be greatly appreciated if the finalised college/high school site (24 June email from myself) and primary school site (attached) boundaries could be indicated within the 'Molonglo Group Centre & Surrounds' orthophoto map we have been using to discuss and refine the two education sites. It is understood the TPV map will be updated separately by EPSDD's Planning and Urban Policy Division, however Education would appreciate a map from EPSDD indicating the latest education site boundaries and areas (ha) for reference purposes as well as high-level communication between the two directorates. If possible, a small title box and date on the map would be greatly appreciated.

Many thanks Dan for your ongoing collegiality and assistance with schools planning in Molonglo Valley.

Kind Regards
Rohen

Rohen Conners | Director, Schools Planning
02 6207 1654 | rohen.conners@act.gov.au
Enrolments and Planning | System Policy and Reform | Education Directorate
www.education.act.gov.au | [Facebook](#) | [Twitter](#) | [Instagram](#) | [LinkedIn](#) | [Google+](#)

From: Conners, Rohen
Sent: Friday, 8 July 2022 2:56 PM
To: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>
Subject: Molonglo Group Centre primary school - draft Final site boundaries

OFFICIAL

Hi Dan,

Further to our meeting on Wednesday, please find attached the following maps in support of finalising the Molonglo Group Centre primary school site boundaries/area:

- **Proposed adjustment of the site's boundaries.** As discussed, an adjustment of an additional 5m adjustment to (part of) the site's western boundary is proposed. An additional 3m to 6m adjustment of the site's southern boundary is also proposed. With slight realignment of the adjoining connector road the depth of the residential block aligning Holborow Road would remain in line with the CZ5 Mixed Use blocks proposed to adjoin the western boundary of John Gorton Drive. The proposed site area of the school would increase slightly from ~4.15 to ~4.35ha.
- **Draft final site boundaries** incorporating the abovementioned adjustments. Education's design and development group are currently completing a final 'fit-for-purpose' interrogation of the site (with adjusted boundaries). A response is anticipated early next week at which point we expect to provide final confirmation of the site's dimensions.
- **Draft Site Concept Plan.** This is a basic concept plan for the site indicating how the school *may* respond to its topographic, built and transport context as well as integrate into its resident community. As discussed, a full-sized playing field and school hall/gym are planned for co-share with the community outside school hours. Consideration is also given to mid-block east-west access through the school site (outside hours).

Please let me know if any clarification is required in regard to the site's boundaries.

Kind Regards,
Rohen

Rohen Conners | Director, Schools Planning
02 6207 1654 | rohen.conners@act.gov.au
Enrolments and Planning | System Policy and Reform | Education Directorate
www.education.act.gov.au | [Facebook](#) | [Twitter](#) | [Instagram](#) | [LinkedIn](#) | [Google+](#)

Klein, Liz

From: Klein, Liz
Sent: Friday, 15 July 2022 1:46 PM
To: Wood-Bradley, Ian
Cc: Thompson, Rodney; Cox, Simon; Conners, Rohen
Subject: RE: Molonglo Group Centre and Denman

UNOFFICIAL

Hi Ian

Vanessa Attridge (EBM) will contact you next week to arrange a meeting.

Regards, Liz

Liz Klein | Senior Director, Schools Planning
Ph: (02) 6207 0734 | Email: liz.klein@act.gov.au
Enrolments and Planning | System Policy and Reform | Education | ACT Government
220 London Circuit CIVIC ACT | GPO Box 158 Canberra ACT 2601
www.education.act.gov.au

From: Wood-Bradley, Ian <Ian.Wood-Bradley@act.gov.au>
Sent: Thursday, 14 July 2022 8:07 PM
To: Klein, Liz <Liz.Klein@act.gov.au>; Conners, Rohen <Rohen.Conners@act.gov.au>
Cc: Thompson, Rodney <Rodney.Thompson@act.gov.au>; Cox, Simon <Simon.Cox@act.gov.au>
Subject: Molonglo Group Centre and Denman

UNOFFICIAL

Hi Liz and Rohen

Would you be available to meet regarding the sites for schools in the future group centre and Denman. The SLA have undertaken some detailed planning regarding the group centre and Denman to optimise grading and connections between both and as an input to current EPSDD planning proposals. We are keen to share this work.

Early next week would be preferable to us. Could you advise your availability?

All the best

Ian

Connors, Rohen

From: Santosuosso, Daniel
Sent: Wednesday, 3 August 2022 9:17 AM
To: Connors, Rohen
Subject: FW: Molonglo Group Centre primary school - Finalised site boundaries
Attachments: P02203 MGC EDU Base FIG 1_02.08.2022.pdf

Hi Rohen,

Please find attached as requested. I have had Edwin straighten a couple of lines to make roads perpendicular and parallel to each other.

Denman School is around 4.33ha and Molonglo 9.3ha

Kind Regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

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480 Northbourne Avenue | GPO Box 158 Canberra ACT 2601 | www.planning.act.gov.au

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2.3Ha

4.3Ha

9.3Ha

0 50 100 150 200 250m

Conners, Rohen

From: Santosuosso, Daniel
Sent: Friday, 5 August 2022 4:06 PM
To: Conners, Rohen
Subject: FW: Molonglo Group Centre primary school - Finalised site boundaries
Attachments: P02203 MGC and Surrounds-FIG 1.pdf; P02203 MGC and Surrounds-FIG 2.pdf

Hi Rohen,

Thanks for your collaboration and coordination regarding the schools sites withing the Molonglo Group Centre and surrounds.

As promised please find updated plans.

It is EPSDD's understanding and we have incorporated into the Concept Plan, the School site in Molonglo will be around 9.3ha reduced from 10ha and include collocated community space and a publicly accessible town oval, and the Denman Prospect school site will be around 4.3ha reduced from 4.5ha and include collocated community space and a publicly accessible rectangle playing field.

We are in the process of finalising the Statement of Requirements for a District Level Community Needs Assessment which will assist in identifying the quantum and location of the collocated community space and at the appropriate time would value your input.

I am meeting with Ben Green (EGM D&I) and Lisa Teburea (EGM PUP) on Tuesday next week to provide them with an update on the TA. Please let me know before then if you require any changes.

Kind Regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

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From: Conners, Rohen <Rohen.Conners@act.gov.au>
Sent: Thursday, 4 August 2022 2:48 PM
To: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>
Subject: RE: Molonglo Group Centre primary school - Finalised site boundaries

OFFICIAL

Hi Dan

Many thanks for sending the Molonglo Group Centre and Surrounds map indicating the finalised footprints of the two school sites for TPV purposes.

As discussed, the school sites shown on the map sent through check-out fine per site location, configuration, perimeters and size.

As this map will form the basis of correspondence between DGs it would be good to ensure some aspects of it are quite obvious to the hurried 'executive reader'. Would it be possible please to:

- Highlight the boundaries of the two sites with a bright yellow overlaying the blue + also the Ha size? I've indicated this with an example block on the attached map.
- Insert the names of the 3 arterial road on the map for reader orientation purposes? These include John Gorton Drive, Holborow Ave and the 'East-West arterial'. I've indicated these with red question marks
- Provide a north point for orientation
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 - Map title: Molonglo Group Centre & Surrounds – School Sites
 - Insert a small yellow bordered box without fill alongside the words 'school site'
 - Insert the author of the map, i.e. your unit etc + 'EPSDD'
 - Any map reference, internal location numbers and dates you wish.

Many, many thanks Dan.

Kind regards
Rohen

Rohen Connors | Director, Schools Planning
02 6207 1654 | rohen.connors@act.gov.au
Enrolments and Planning | System Policy and Reform | Education Directorate
www.education.act.gov.au | [Facebook](#) | [Twitter](#) | [Instagram](#) | [LinkedIn](#) | [Google+](#)

From: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>
Sent: Wednesday, 3 August 2022 9:17 AM
To: Connors, Rohen <Rohen.Connors@act.gov.au>
Subject: FW: Molonglo Group Centre primary school - Finalised site boundaries

Hi Rohen,

Please find attached as requested. I have had Edwin straighten a couple of lines to make roads perpendicular and parallel to each other.

Denman School is around 4.33ha and Molonglo 9.3ha

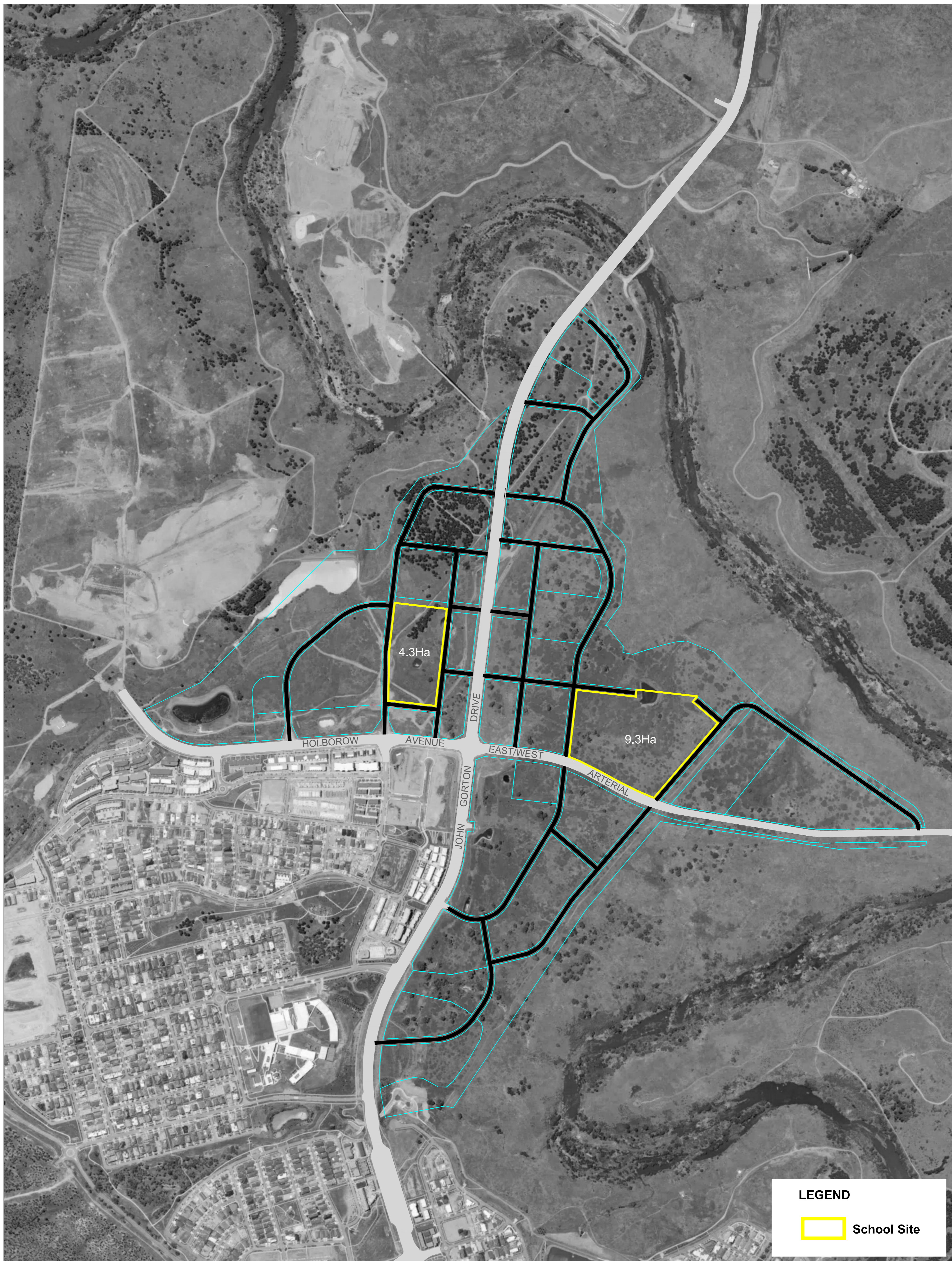
Kind Regards

Daniel Santosuosso | Project Director
Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au
Development and Implementation | **Environment, Planning and Sustainable Development Directorate** | **ACT Government**
480 Northbourne Avenue | GPO Box 158 Canberra ACT 2601 | www.planning.act.gov.au

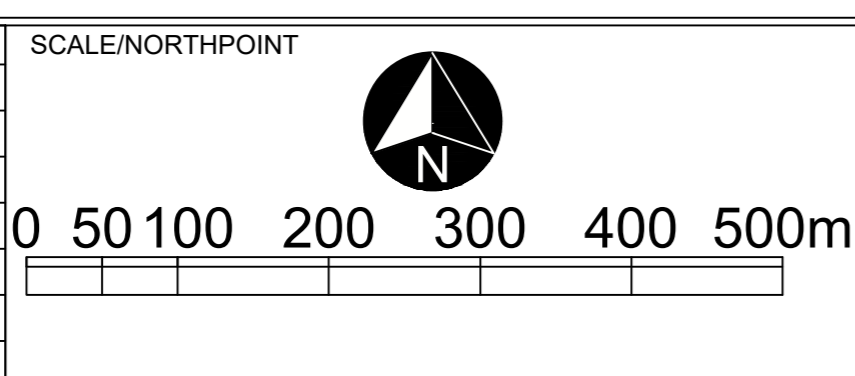
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No.	Approved by	Drawn by	Date



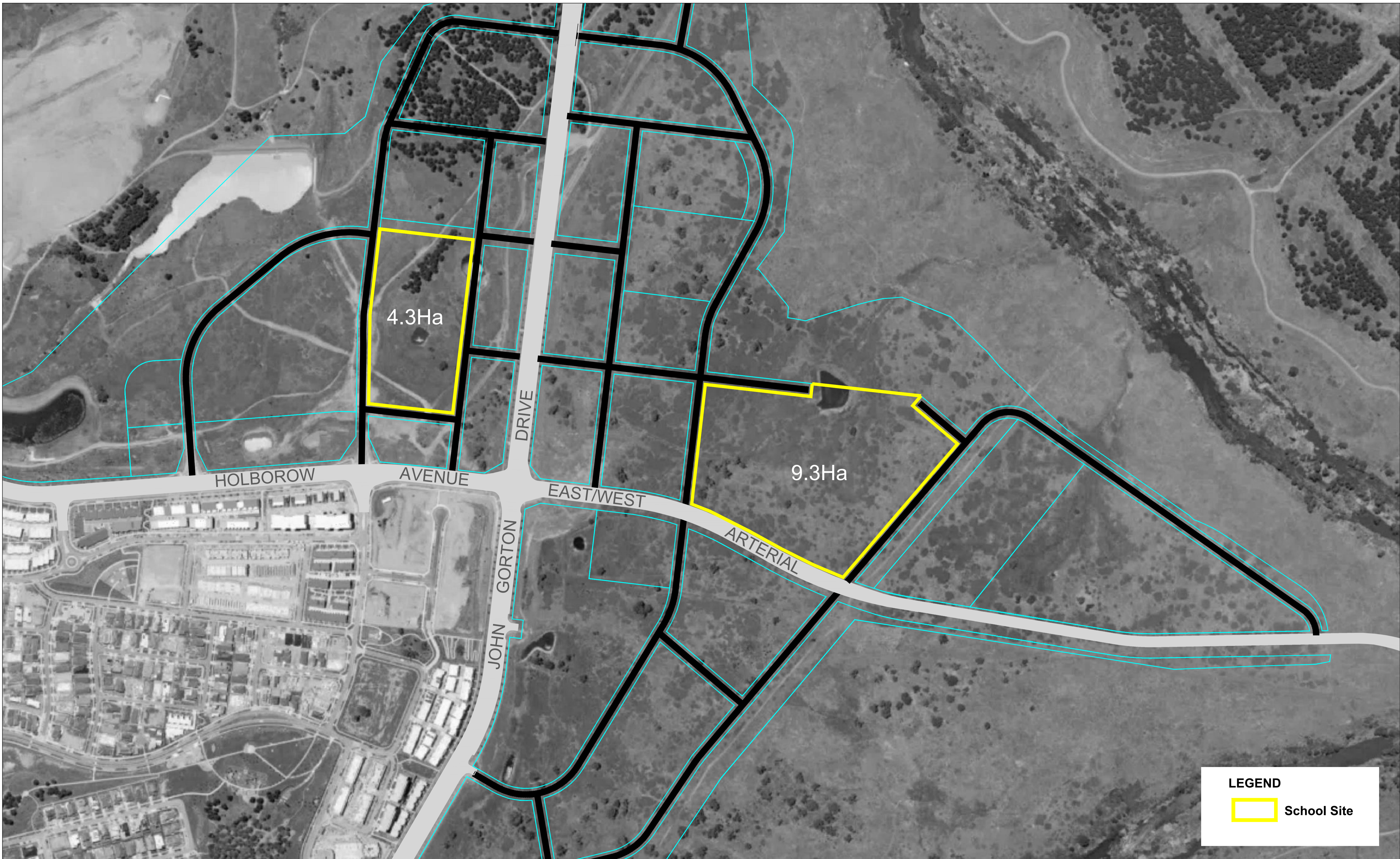
DIRECTORATE/DEPARTMENT

ACT
Government
Environment, Planning and Sustainable Development

PROJECT

MOLONGLO VALLEY

DRAWING TITLE		
Molonglo Group Centre & Surrounds School Sites		
PROJECT NUMBER	DRAWING NUMBER	AMENDMENT
P02203	FIGURE 1	
AutoCAD Saved: 05/08/2022	Plotted: 05/08/2022 3:00:40 PM	By: ERM



REVISIONS			
No.	Approved by	Drawn by	Date

SCALE/NORTHPOINT

DIRECTORATE/DEPARTMENT

ACT
Government
Environment, Planning and Sustainable Development

PROJECT

MOLONGLO VALLEY

DRAWING TITLE		
Molonglo Group Centre & Surrounds School Sites		
PROJECT NUMBER	DRAWING NUMBER	AMENDMENT
P02203	Figure 2	
AutoCAD Saved: 05/08/2022	Plotted: 05/08/2022 3:01:17 PM	By: ERM

Conners, Rohen

From: Conners, Rohen
Sent: Friday, 5 August 2022 5:06 PM
To: Santosuosso, Daniel
Subject: RE: Molonglo Group Centre primary school - Finalised site boundaries

OFFICIAL

Hi Dan,

Many thanks for your maps – they are very clear and provide the clarity sought.

We look forward to providing input with regards to the Statement of Requirements for a District Level Community Needs Assessment.

As previously discussed with Education's Schools Planning and Major Projects teams we will be planning for inclusion of a district playing oval within the co-located college/high school campus site, and a rectangle playing field with the primary school site. Both the oval and the playing field will be publicly accessible outside school hours. Both school sites will also have a school hall/gymnasium that will be available for community use outside school hours in line with Education's facilities policies.

Kind Regards
Rohen

Rohen Conners | Director, Schools Planning
02 6207 1654 | rohen.conners@act.gov.au
Enrolments and Planning | System Policy and Reform | Education Directorate
www.education.act.gov.au | [Facebook](#) | [Twitter](#) | [Instagram](#) | [LinkedIn](#) | [Google+](#)

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Sent: Friday, 5 August 2022 4:06 PM
To: Conners, Rohen <Rohen.Conners@act.gov.au>
Subject: FW: Molonglo Group Centre primary school - Finalised site boundaries

Hi Rohen,

Thanks for your collaboration and coordination regarding the schools sites withing the Molonglo Group Centre and surrounds.

As promised please find updated plans.

It is EPSDD's understanding and we have incorporated into the Concept Plan, the School site in Molonglo will be around 9.3ha reduced from 10ha and include collocated community space and a publicly accessible town oval, and the Denman Prospect school site will be around 4.3ha reduced from 4.5ha and include collocated community space and a publicly accessible rectangle playing field.

We are in the process of finalising the Statement of Requirements for a District Level Community Needs Assessment which will assist in identifying the quantum and location of the collocated community space and at the appropriate time would value your input.

I am meeting with Ben Green (EGM D&I) and Lisa Teburea (EGM PUP) on Tuesday next week to provide them with an update on the TA. Please let me know before then if you require any changes.

Kind Regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

Development and Implementation | Environment, Planning and Sustainable Development Directorate | ACT Government

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Sent: Thursday, 4 August 2022 2:48 PM

To: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>

Subject: RE: Molonglo Group Centre primary school - Finalised site boundaries

OFFICIAL

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 - Insert a small yellow bordered box without fill alongside the words 'school site'
 - Insert the author of the map, i.e. your unit etc + 'EPSDD'
 - Any map reference, internal location numbers and dates you wish.

Many, many thanks Dan.

Kind regards

Rohen

Rohen Conners | Director, Schools Planning

02 6207 1654 | rohen.conners@act.gov.au

Enrolments and Planning | System Policy and Reform | Education Directorate

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From: Santosuosso, Daniel <Daniel.Santosuosso@act.gov.au>
Sent: Wednesday, 3 August 2022 9:17 AM
To: Conners, Rohen <Rohen.Conners@act.gov.au>
Subject: FW: Molonglo Group Centre primary school - Finalised site boundaries

Hi Rohen,

Please find attached as requested. I have had Edwin straighten a couple of lines to make roads perpendicular and parallel to each other.

Denman School is around 4.33ha and Molonglo 9.3ha

Kind Regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

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Nikolas, Lejla

From: Attridge, Vanessa
Sent: Tuesday, 9 August 2022 8:38 AM
To: Marcantonio, Laura
Cc: Green, Ben
Subject: EDU corro re Molonglo schools planning

OFFICIAL

Hi Laura,

I hope you're going well?

I wanted to get in touch to let you know our a/g DG will send over some correspondence to DG Ponton today, hoping to confirm EDU and EPSDD are agreed on two future public education sites in Molonglo. We have had many discussions with Officers over recent months (mostly with your Development and Implementation Division) who have also provided a map to clearly identify the site parameters, so hopefully the content meets EPSDD's expectations.

Very happy to discuss further.

Kind regards,

Nessa

Vanessa Attridge | a/g Executive Group Manager

02 6205 3502 | vanessas.attridge@act.gov.au

System Policy & Reform | Education | ACT Government

www.education.act.gov.au

Nikolas, Lejla

From: Marcantonio, Laura
Sent: Tuesday, 9 August 2022 9:15 AM
To: Attridge, Vanessa
Cc: Green, Ben
Subject: RE: EDU corro re Molonglo schools planning

OFFICIAL

Hi Nessa – all going well here, thank you 😊. Hope the same for you.

Appreciate the heads up, thank you – will keep an eye out for it.

Cheers

L

Laura Marcantonio | Senior Director, Office of the Director-General
Environment, Planning and Sustainable Development Directorate | ACT Government
Email: Laura.Marcantonio@act.gov.au
Level 4, Snowgum, 480 Northbourne Ave, Dickson, ACT 2602 | GPO Box 158, Canberra 2601
www.environment.act.gov.au | www.planning.act.gov.au

From: Attridge, Vanessa <VanessaS.Attridge@act.gov.au>
Sent: Tuesday, 9 August 2022 8:38 AM
To: Marcantonio, Laura <Laura.Marcantonio@act.gov.au>
Cc: Green, Ben <Ben.Green@act.gov.au>
Subject: EDU corro re Molonglo schools planning

OFFICIAL

Hi Laura,

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Kind regards,

Nessa

Vanessa Attridge | a/g Executive Group Manager
02 6205 3502 | vanessas.attridge@act.gov.au
System Policy & Reform | Education | ACT Government
www.education.act.gov.au

Nikolas, Lejla

From: Fitzgerald, SarahR on behalf of EDU, Director-General Office
Sent: Tuesday, 9 August 2022 4:42 PM
To: Ponton, Ben
Cc: EDU, Director-General Office
Subject: Letter from a/g Director-General Education Directorate Jane Simmons PSM
Attachments: Letter from Ms Jane Simmons PSM ag Director-General Education Directorate.pdf;
ATTACHMENT A Molonglo Group Centre and Surrounds Map.PDF

OFFICIAL

Dear Mr Ponton

Please find attached correspondence from Ms Jane Simmons PSM, a/g Director-General Education Directorate.

Regards
Sarah

Sarah Fitzgerald | Executive Support Officer to Director-General, Education Directorate
Phone:02 6205 9158 | Mobile: 0466 244 210 | Email: edudirectorgeneraloffice@act.gov.au
220 London Circuit, Canberra City ACT 2612 | GPO Box 158 Canberra ACT 2601
www.education.act.gov.au | [Facebook](#) | [Twitter](#) | [Pinterest](#) | [LinkedIn](#) | [Google+](#)



Mr Ben Ponton
Director-General
Environment, Planning and Sustainable Development Directorate
GPO Box 158
CANBERRA CITY ACT 2601

Dear Mr Ponton

I am writing regarding the planned future public education sites associated with *Technical Amendment TA2022-01 - Introduction of Molonglo Group Centre and Surrounds Concept Plan and rezoning of land within the future urban area of Molonglo and changes to the Commercial Zones Development Code ('TA2022-01')*.

The Education Directorate understands the Environment, Planning and Sustainable Development Directorate (EPSDD) anticipates it will soon finalise changes to the Territory Plan foreshadowed by TA2022-01. These are understood to include the introduction of the Molonglo Group Centre and Surrounds Concept Plan ('Concept Plan') and rezoning of land in Molonglo, amongst other changes. It is also understood that land-use planning for the future Group Centre and surrounds is anticipated to soon progress from EPSDD to the Suburban Land Agency (SLA).

In view of this forthcoming progress, I would appreciate confirmation of EPSDD's understanding of the planned location and size of the future Education sites subject to the finalised changes to the Territory Plan, as provided by TA2022-01.

Two school sites are associated with the planned Molonglo Group Centre and its surrounds:

- A co-located public college and high school campus; and
- A public primary school.

Education's understanding of the location and site areas of these future public schools is specified in the following orthophoto plan (figure 1) recently provided by EPSDD, as well as in figures 2,3,4 and 10 provided within the Concept Plan that was exhibited in April this year for community comment as part of TA2022-01.

I hope you will find this accurately reflects EPSDD's expectations as I understand this has been agreed and understood at officer levels within EPSDD and Education.

The attached plan indicates the college and high school campus site is 9.3 hectares in size and, as provided by the Concept Plan, directly adjoins the eastern boundary of the 'Molonglo Central' precinct.

The same plans indicate the primary school site is 4.3 hectares in size with its western boundary adjoining a planned major collector road and its northern site boundary adjoining a 'central green link'.

Education views the co-located college/high school campus and the primary school as public education sites that are integral to addressing future school enrolment demand within Molonglo suburb, parts of Denman Prospect as well as future new residential areas elsewhere within the Molonglo Valley district.

Planning for education sites has been a collegial process undertaken over the past year between officers from Education's Enrolments and Planning Branch and those from your Directorate's Development and Implementation Division and I thank you and your officers for this productive collaboration.

Education notes that the developable area of the Molonglo Group Centre and its surrounds is understandably constrained by its unique topographical and environmental heritage context. All urban land-uses are, by necessity, restrained in their distribution and size. Given this, Education has identified opportunities for the future schools to contribute further to the general resident community planned for the Molonglo Group Centre and its surrounds.

Access to public education facilities will be maximised for the community in recognition of the benefits of shared community and education use. Education will provide community access (outside school hours) to a planned district oval in the college/high school campus site and a planned full-sized rectangle playing field in the primary school site. Further, access will also be provided to school halls and gymnasiums on both sites for indoor sporting and community meeting purposes.

Providing community access to these facilities will, contribute more broadly to liveability, placemaking and community development in Molonglo Valley.



I would welcome your reply and confirmation of the siting and size of the education sites planned for the Molonglo Group Centre and surrounds. I anticipate this will also provide helpful guidance to the SLA with regards to estate development planning.

I look forward to continuing discussion as we progress the planning for delivery of these schools.

Yours sincerely

Ms Jane Simmons
A/G Director-General
Education Directorate
09 August 2022



Figure 1. Orthophoto Plan (provided by EPSDD 5 August 2022)



LEGEND
 School Site

<table border="1"> <thead> <tr> <th>REVISION</th> <th>No.</th> <th>Approved by</th> <th>Drawn by</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		REVISION	No.	Approved by	Drawn by	Date																					SCALE/NOTES 0 50 100 150 200 250 300m	DIRECTOR/DEPARTMENT ACT Government Environment, Planning and Sustainable Development	PROJECT MOLONGLO VALLEY	DRAWING TITLE Molonglo Group Centre & Surrounds School Sites PROJECT NUMBER P0222 DRAWING NUMBER Figure 1 AMENDMENT None
REVISION	No.	Approved by	Drawn by	Date																										

G:\LAP\BPLand Supply & Policy\B1_Maps and Figures\MOLONGLO VALLEY\P02223 MGC and Surrounds\DW01P0223 MGC and Surrounds.dwg

From: [Santosuosso, Daniel](#)
To: [Klein, Liz](#); [Conners, Rohen](#)
Cc: [Moser, Sonya](#)
Subject: TA2022-01 Molonglo Group Centre and surrounds
Date: Tuesday, 6 September 2022 10:33:07 AM
Attachments: [Attachment A - TA2022-01 introduce concept plan and rezone under FUA - Molonglo \(commencement version\) \(A35127767\).pdf](#)
[Attachment B - Molonglo Concept Plan \(commencement version\) \(A37242480\).pdf](#)

Hi Liz and Rohen,

Thank you for your input through this process.

The report on consultation which details public consultation and changes being made as a result and any additional changes considered necessary is being finalised.

Please find attached a copy of TA2022-01 Molonglo Group Centre and surrounds for information. Please do not distribute these documents as they are for information purposes only and we are aiming to have these with our executive for approval in the coming weeks.

Please note the changes made to the two school sites consistent with your Directorates advice.

Please don't hesitate to contact me directly if you have any concerns.

Kind Regards

Daniel Santosuosso | Project Director

Phone: 02 6207 7212 | Email: daniel.santosuosso@act.gov.au

Development and Implementation | Environment, Planning and Sustainable Development Directorate | ACT Government

480 Northbourne Avenue | GPO Box 158 Canberra ACT 2601 | www.planning.act.gov.au

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ACT
Government

Environment, Planning and
Sustainable Development

Planning and Development Act 2007

Technical Amendment to the Territory Plan

2022-01

Introduction of
Molonglo Group Centre and Surrounds
Concept Plan and
rezoning of land within the future urban area of
Molonglo and changes to the
Commercial Zones Development Code

September 2022

Commencement version

under section 89 of the *Planning and Development Act 2007*

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1. INTRODUCTION

1.1 Purpose

This technical amendment proposes to rezone land under future urban area in Molonglo District and introduce the Molonglo Concept Plan into the Territory Plan.

1.2 Public consultation

Under section 87(2)(g) of the *Planning and Development Act 2007* (the Act) this type of technical amendment is subject to limited public consultation.

TA2022-01 was released for public consultation from 4 April 2022 to 6 May 2022.

A total of seven submissions were received.

1.3 National Capital Authority

The *Australian Capital Territory (Planning and Land Management) Act 1988* established the National Capital Authority (NCA) with two of its functions being to prepare and administer a National Capital Plan (the Plan) and to keep the NCP under constant review and to propose amendments to it when necessary.

The Plan, which was published in the Commonwealth Gazette on 21 January 1990, is required to ensure Canberra and the Territory are planned and developed in accordance with their national significance. The *Australian Capital Territory (Planning and Land Management) Act 1988* also requires the Territory Plan not be inconsistent with the Plan. The areas covered by this technical amendment are within urban areas identified in the Plan.

The National Capital Authority has been advised of this technical amendment.

1.4 Process

This technical amendment has been prepared in accordance with section 87 of the *Planning and Development Act 2007* (the Act).

Comments received from the public and the National Capital Authority will be taken into account before the planning and land authority “makes” the technical amendment under section 89 of the Act. The planning and land authority must then notify the public of its decision.

1.5 Types of technical amendments under the Act

The following categories of technical amendments are provided under section 87 of the Act:

- (1) Each of the following territory plan variations is a **technical amendment** for which no consultation is needed before it is made under section 89:
 - (a) a variation (an **error variation**) that –
 - (i) would not adversely affect anyone’s rights if approved; and
 - (ii) has as its only object the correction of a formal error in the plan;
 - (b) a variation to change the boundary of a zone or overlay under section 90A (Rezoning – boundary changes);
 - (c) a variation, other than one to which subsection (2)(d) applies, in relation to an estate development plan under section 96 (Effect of approval of estate development plan);
 - (d) a variation required to bring the territory plan into line with the national capital plan;
 - (e) a variation to omit something that is obsolete or redundant in the territory plan.

- (2) Each of the following territory plan variations is a **technical amendment** for which only limited public consultation is needed under section 90:
 - (a) a variation (a **code variation**) that –
 - (i) would only change a code; and
 - (ii) is consistent with the policy purpose and policy framework of the code; and
 - (iii) is not an error variation;
 - (b) a variation to change the boundary of a zone under section 90B (Rezoning – development encroaching on adjoining territory land);
 - (c) a variation in relation to a future urban area under section 90C (Technical amendments – future urban areas);
 - (d) a variation in relation to an estate development plan under section 96 (Effect of approval of estate development plan) if it incorporates an ongoing provision that was not included in the plan under section 94 (3) (g);
 - (e) a variation to clarify the language in the territory plan if it does not change the substance of the plan;
 - (f) a variation to relocate a provision within the territory plan if the substance of the provision is not changed.

TA2022-01 has been prepared in accordance with section 87(2)(a), 87(2)(c) and 90C(1) of the Act.

2. EXPLANATORY STATEMENT

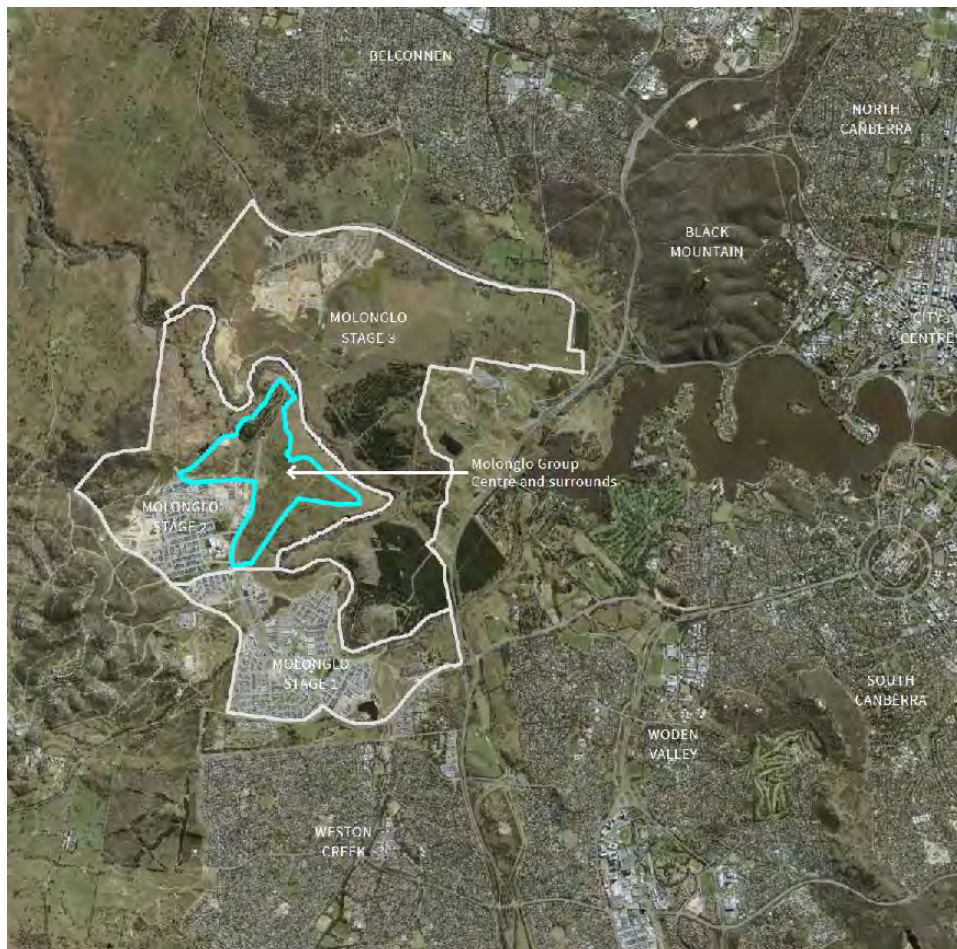
2.1 Background

This part of the technical amendment document explains the changes to be made to the Territory Plan, the reasons for the change, and a statement of compliance against the relevant section of the Act.

2.2 Molonglo Group Centre and Surrounds Future Urban Area (FUA)

The area subject to this technical amendment is located in the district of Molonglo and includes land intended for the commercial group centre and its surrounds in the suburbs of Molonglo and Denman Prospect. The suburb of Molonglo will become the principle commercial hub for the district of the Molonglo Valley. The suburb will accommodate commercial, retail, residential and community facilities.

The concept plan introduced as part of this technical amendment provides a planning and design framework to facilitate development and implementation of the vision for the Molonglo Group Centre and surrounds.



Location map

The Molonglo Valley (see location map) is located centrally in Canberra with major centres and educational institutes within 10 kilometres including the city centre, Woden and Belconnen town centres, the Parliamentary Triangle, Australian National University, University of Canberra and hospitals at the University of Canberra, Bruce and Garran.

Nestled on the upper slopes of the Molonglo River Corridor, Molonglo Valley is surrounded by the National Arboretum, Lake Burley Griffin, Black Mountain, the National Zoo and Aquarium, and the western ranges of the Bullen and Brindabella. The Molonglo Valley is defined by a distinct topography, in which major ridgelines separate from the surrounding existing development, Belconnen to the north (Pinnacles, Mount Painter and Black Mountain), areas to the east (Dairy Farmers Hill and National Arboretum) and Stromlo Forest Park to the south.

The Molonglo Valley is characterised by undulating, and in some places, very challenging natural topography for urban land development. The Molonglo Valley and associated river corridor, however, present excellent opportunities to demonstrate best practice in ecological conservation, bushfire management, provision of local recreation facilities and the incorporation of distinctive landscape design features in the urban area.

The Canberra Spatial Plan 2004 identified the Molonglo Valley as the next major urban area. Variation 281 introduced the Molonglo and North Weston Structure Plan 2008 and concept plans for North Weston, Coombs and Wright. The variation was accompanied by amendment 63 to the National Capital Plan to include the Molonglo Valley as part of Canberra's urban area.

The concept plan together with other relevant codes of the Territory Plan will:

- guide the design and assessment of estate development plans (EDP), which are subdivision proposals
- inform the allocation of final zones on a parcel of land when that parcel ceases to be part of the future urban area following subdivision
- guide the development of individual blocks and the public realm.

Consistent with the structure plan, the concept plan establishes the vision and planning and design principles. The concept plan is a precinct code under the *Planning and Development Act 2007*.

Molonglo Valley is the newest greenfield development area in the ACT and is planned to accommodate approximately 55,000 new residents over the coming decades.

The first stage of development commenced in 2011/2012 and includes North Weston and the suburbs of Coombs and Wright. Coombs and Wright will accommodate approximately 4,700 dwellings. Stage 1 also introduced major infrastructure including supply of water and sewer, water quality ponds in North Weston and Coombs and a section of John Gorton Drive.

The second stage of the development of the Molonglo Valley commenced in 2015 with the first and second stages of Denman Prospect. The second stage includes the Molonglo group centre and its surrounds located in the suburbs of Molonglo and Denman Prospect.

This concept plan has been developed in consideration of the ACT Planning Strategy 2018, ACT Transport Strategy 2020, ACT Climate Change Strategy 2019-2025, Molonglo Valley Strategic Assessment 2011 (considers matters of National Environmental Importance) and the Nature Conservation (Molonglo River Reserve) Reserve Management Plan 2019.

The background studies and site investigations inform the directions for the Molonglo group centre and surrounds concept plan include topographical surveys, cultural and heritage assessments, infrastructure master plans, servicing and infrastructure investigations, market and residential growth assessments, road and traffic planning, road and intersections designs, tree assessments, ecological mapping, geotechnical investigations, bulk earthworks investigations, stormwater management, urban design studies, and community, sport and recreational facilities assessments.

2.3 Structure Plan Principles and Policies

Consistent with the principles of the structure plan a vision for the Molonglo Group Centre and Surrounds has been developed and incorporated into the concept plan as follows:

“The Molonglo Group Centre is the primary commercial centre for the community in the Molonglo valley. The group centre will be a focus for community life with safe and inviting public spaces and streets for people to linger and easily move around the centre. Buildings and infrastructure will be designed and delivered through best practice urban design, sustainability and innovation principles. Public transport and active travel routes will seamlessly connect the centre to the surrounding neighbourhoods, recreational spaces and to the wider areas of Canberra.

The Molonglo River corridor, surrounding landscape and hills are key landscape features that will be celebrated through the design of the built form to provide places, parks and recreational opportunities for the people who visit, work and live in the Molonglo valley.”

The concept plan has been developed to meet the principles of the Molonglo and North Weston Structure Plan. The desired planning outcomes of the concept plan address the principles of the structure plan as follows:

Structure Plan - Principles	Concept Plan – Desired planning outcomes
Sustainable development	Sustainability and innovation
Social and Economic	Place for community and economic life Legible and safe commercial centre
Landscape and open space	Connection to place and the Molonglo River corridor Built form in the landscape
Urban design	Urban design desired planning outcomes are addressed under the following headings: Sustainability and innovation Place for community and economic life Connection to place and the Molonglo River corridor Built form in the landscape Legible and safe commercial centre
Transport	Accessible and connected

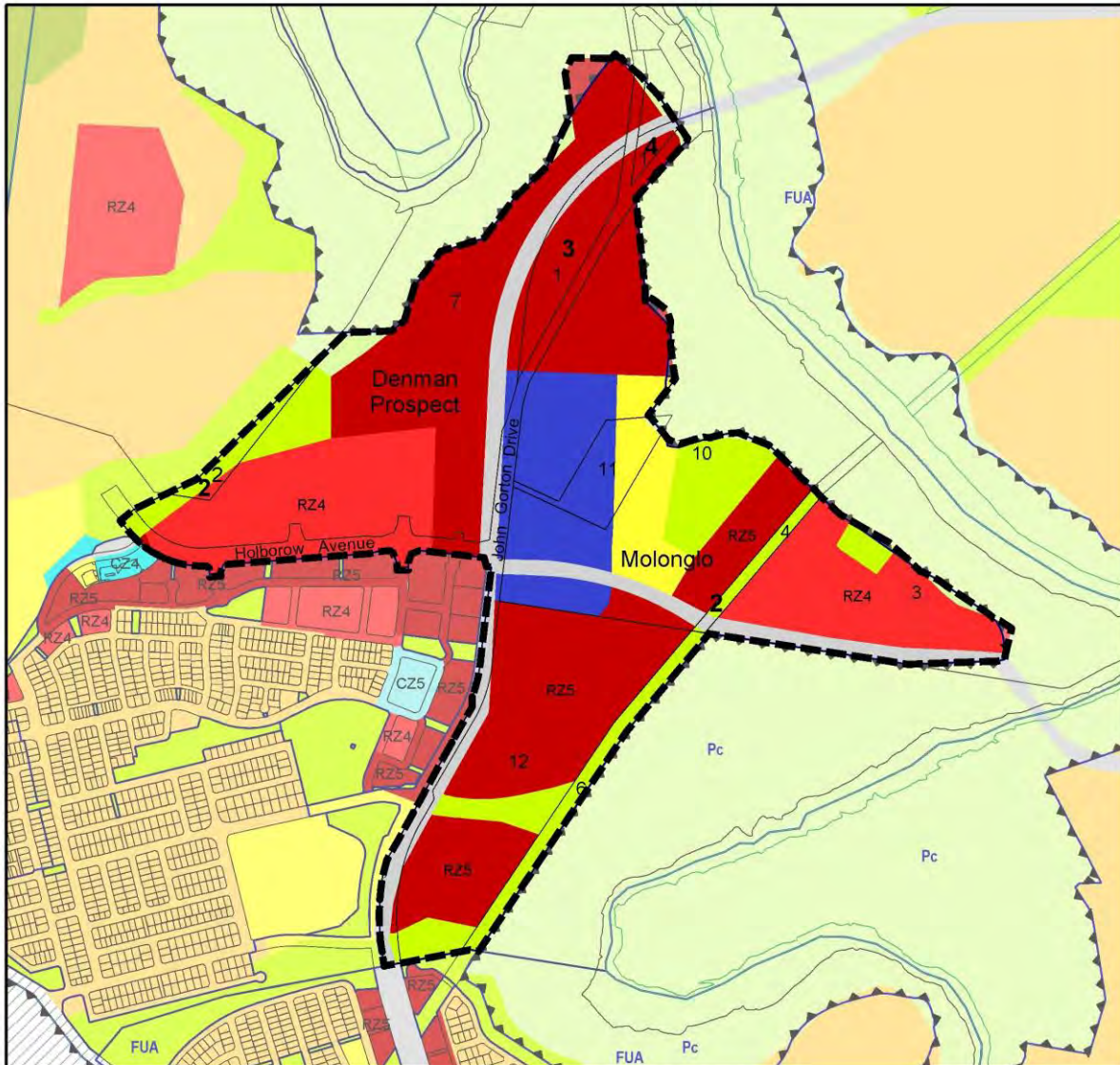
The background studies and site investigations inform the directions for the Molonglo group centre and surrounds concept plan include topographical surveys, cultural and heritage assessments, infrastructure master plans, servicing and infrastructure investigations, market and residential growth assessments, road and traffic planning, road and intersections designs, tree assessments, ecological mapping, geotechnical investigations, bulk earthworks investigations, stormwater management, urban design studies, and community, sport and recreational facilities assessments.

The planning controls in the concept plan are not inconsistent with the policies of the structure plan. Planning controls for subdivision and development are contained in rules and criteria in the concept plan and address the policies of the structure plan which are under the following headings:

- Environment protection
- Residential
- Commercial
- Open space and recreation
- Community facilities
- Stormwater management
- Traffic management
- Commercial centres
- Emergency services facilities
- Infrastructure

2.4 Changes to the Territory Plan Map

Existing Territory Plan Map



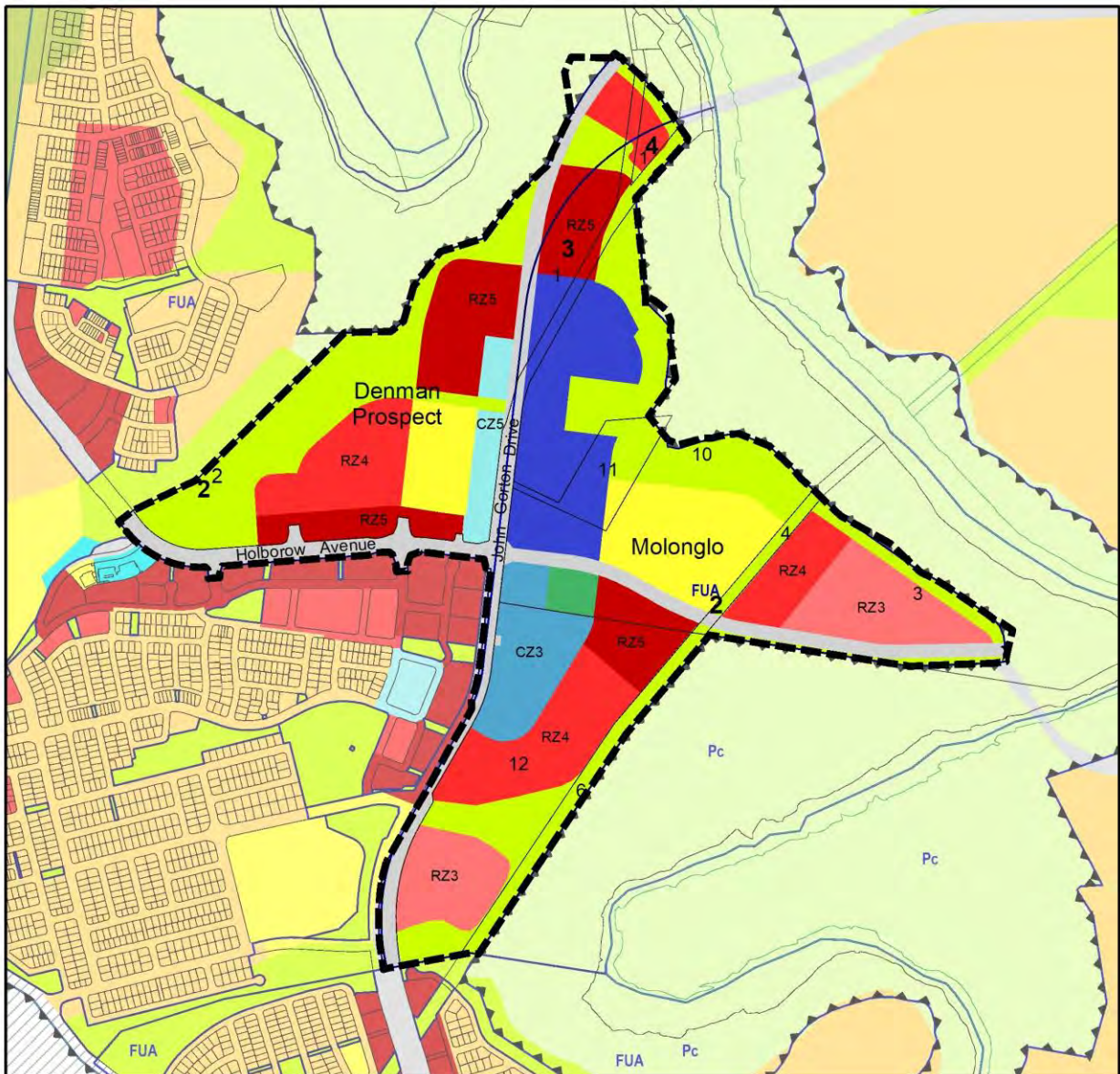
Land subject to the rezoning

Territory Plan Zones and Overlays

Designated Areas:	Community Facility:	FUA Future Urban Area
See National Capital Plan	CFZ - Community Facility	Public Land, arrows point inwards and encompass the type of public land reserve listed below
Residential:	Parks and Recreation:	Type of Public Land Reserve:
RZ1 - Suburban	PRZ1 - Urban Open Space	Pc - a nature reserve
RZ3 - Urban Residential	Transport and Services:	Pa-i - a special purpose reserve
RZ4 - Medium Density Residential	TSZ1 - Transport	
RZ5 - High Density Residential	TSZ2 - Services	
Commercial:	Non-Urban:	
CZ1 - Core	NUZ3 - Hills, Ridges and Buffer	
CZ4 - Local Centre	NUZ4 - River Corridor	
CZ5 - Mixed Use		

Metres
Molonglo Valley


Proposed Territory Plan Map







 Land subject to the rezoning

Territory Plan Zones and Overlays

Designated Areas:

 See National Capital Plan


Residential:

-  RZ1 - Suburban
-  RZ3 - Urban Residential
-  RZ4 - Medium Density Residential
-  RZ5 - High Density Residential



Commercial:

-  CZ1 - Core
-  CZ3 - Services
-  CZ4 - Local Centre
-  CZ5 - Mixed Use



Community Facility:

 CFZ - Community Facility

Parks and Recreation:

-  PRZ1 - Urban Open Space
-  PRZ2 - Restricted Access Recreation

Transport and Services:

-  TSZ1 - Transport
-  TSZ2 - Services

Non-Urban:

-  NUZ3 - Hills, Ridges and Buffer
-  NUZ4 - River Corridor

 FUA

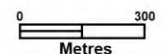
Future Urban Area



Public Land, arrows point inwards and encompass the type of public land reserve listed below

 Pa-i

Type of Public Land Reserve:
Pc - a nature reserve
Pd - a special purpose reserve



Molonglo Valley

Compliance with the *Planning and Development Act 2007*

Section	Statement
<p>s87(2)(a) (a) a variation (a <i>code variation</i>) that— (i) would only change a code; and (ii) is consistent with the policy purpose and policy framework of the code; and (iii) is not an error variation</p>	<p>Compliant.</p> <p>The changes add the Molonglo Group Centre to the list of group centres in the Commercial Zones Development Code and are consistent with the policy purpose and policy framework of the code.</p>
<p>Section 87(2)(c) - a variation in relation to a future urban area under section 90C (Technical amendments – future urban areas)</p>	<p>This technical amendment relates to part of the future urban area overlay in the district of Molonglo.</p>
<p>Section 90C</p>	<p>Compliant, see below.</p>
<p>(1) The planning and land authority may vary the territory plan under section 89 (Making technical amendments) to rezone land in a future urban area, and establish or vary a precinct code in relation to the land, unless the variation is inconsistent with the principles and policies in the structure plan for the area.</p>	<p>This technical amendment proposes to:</p> <ul style="list-style-type: none"> a) rezone land that is within the future urban area of the District of Molonglo as shown on the Territory Plan Map; and b) introduce a Concept Plan for the Molonglo Group Centre and surrounds. <p>The proposal is not inconsistent with the principles and policies of the Molonglo and North Weston Structure Plan as described in section 2.3 of this TA.</p>
<p>(2) The planning and land authority may vary the territory plan under section 89 to change the boundary of a future urban area if the change is consistent with the structure plan for the area.</p>	<p>The boundary of the future urban area is not being changed as a part of this technical amendment.</p>
<p>(3) However, the planning and land authority must not vary the territory plan under section 89 to change the boundary of a future urban area if part of the boundary proposed to be changed is aligned with the boundary of an existing leasehold.</p>	<p>The boundary of the future urban area is not being changed as a part of this technical amendment.</p>

Variation to the Territory Plan

Rezoning under future urban area overlay

Changes can be made to the zones shown within a future urban area overlay via technical amendment, provided the rezoning is consistent with the principles and policies of the overarching structure plan. The Molonglo and North Weston Structure Plan (the Structure Plan) commenced in 2008 and sets out the principles and policies that apply to the Molonglo Valley.

Changes to zoning for the area of the Molonglo Group Centre and surrounds, within the future urban area, are proposed in line with further planning and site investigations that have been undertaken. These changes to zones are consistent with the Structure Plan.

Introduction of Molonglo Group Centre and Surrounds Concept Plan

Following recent planning and site investigations, a draft concept plan, December 2021, was developed for the Molonglo Group Centre and surrounds. The Molonglo Valley Community Forum was consulted about this draft plan and changes were made in consideration of comments from its members. This concept plan is being introduced into the Territory Plan to guide subdivision and development of the Molonglo Group Centre and its surrounds. The concept plan is not inconsistent with the Structure Plan.

Changes to the Commercial Zones Development Code

The Molonglo Group Centre and Surrounds Concept Plan is proposed to be added to the list of group centres in the Commercial Zones Development Code. This will make sure that the provisions for group centres in the development code, will apply to the group centre.

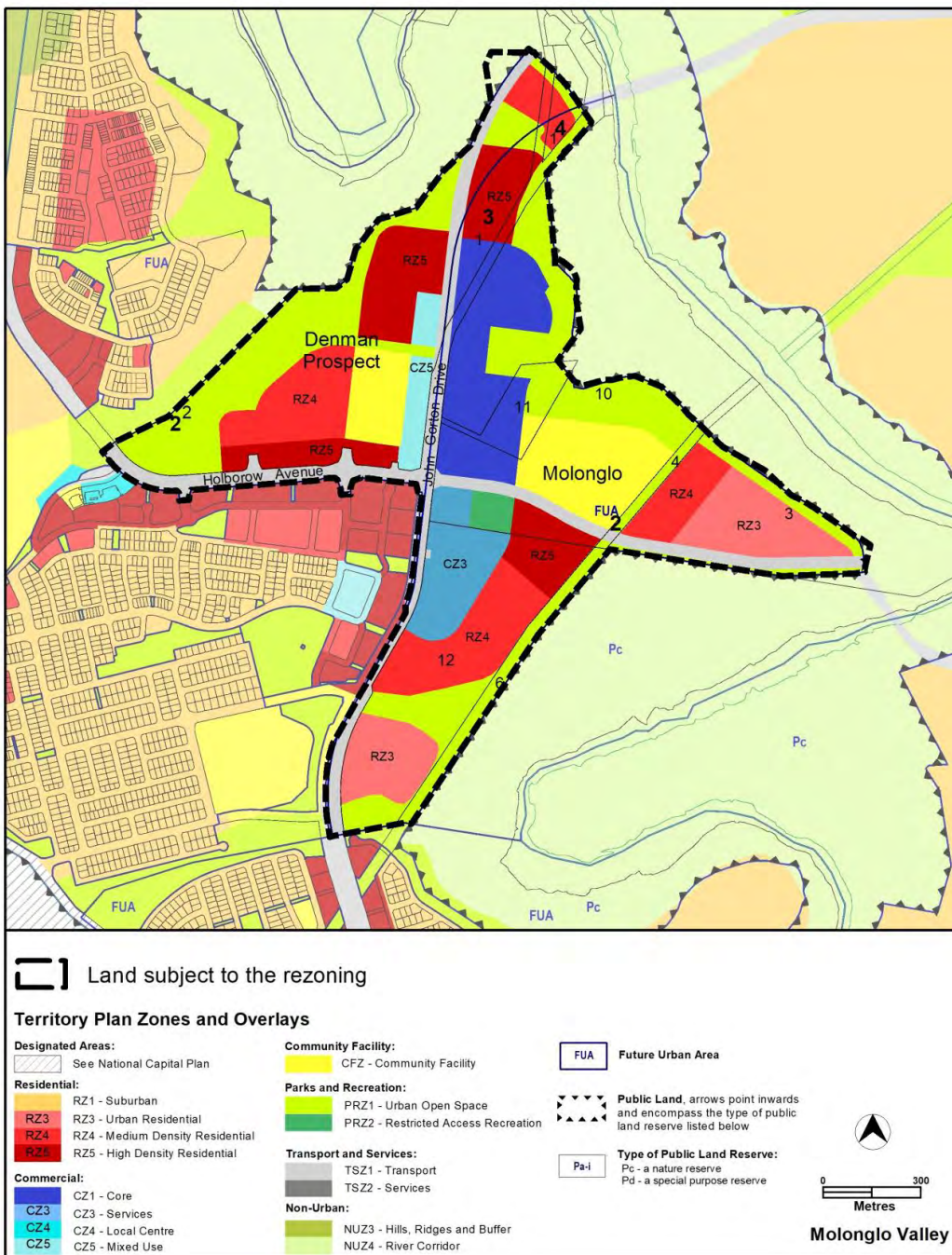
3. TECHNICAL AMENDMENT

This section of the technical amendment document provides the actual instructions for implementing the changes to the Territory Plan.

3.1 Variation to the Territory Plan Map

1. Territory Plan Map

The Territory Plan Map is varied as indicated below:



3.2 Variation to the Territory Plan

2. Commercial Zones, Commercial Zones Development Code, Part C – Additional controls for group centres

Insert

Group centre	Relevant precinct code
Molonglo	Molonglo Group Centre and Surrounds Concept Plan*

* A concept plan is a precinct code under the *Planning and Development Act 2007*.

3. Concept Plans – Precinct Codes for Section 93 of the Planning and Development Act 2007
--

Insert Appendix A Molonglo Group Centre and Surrounds Concept Plan

Interpretation service

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήστε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

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Molonglo Group Centre and Surrounds

Concept Plan

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Introduction

The Molonglo Valley is located centrally in Canberra with major centres and educational institutes within 10 kilometres including the city centre, Woden and Belconnen town centres, the Parliamentary Triangle, Australian National University, University of Canberra and hospitals at the University of Canberra, Bruce and Phillip.

Nestled on the upper slopes of the Molonglo River Corridor, Molonglo Valley is surrounded by the National Arboretum, Lake Burley Griffin, Black Mountain, the National Zoo and Aquarium, and the western ranges of the Bullen and Brindabella. The Molonglo Valley is defined by a distinct topography, in which major ridgelines separate it from the surrounding existing development, Belconnen to the north (Pinnacles, Mount Painter and Black Mountain), areas to the east (Dairy Farmers Hill and National Arboretum) and Stromlo Forest Park to the south.

The Molonglo Valley is characterised by undulating, and in some places, very challenging natural topography for urban land development. The Molonglo Valley and associated river corridor, however, present excellent opportunities to demonstrate best practice in ecological conservation, bushfire management, provision of local recreation facilities and the incorporation of distinctive landscape design features in the urban area.

The total estimated population of the Molonglo Valley is 55,000 people by 2040 and is planned in three main stages (Refer Figure 2):

- Stage 1 – suburbs of Coombs and Wright, and the region of North Weston
- Stage 2 – suburbs of Denman Prospect and Molonglo (including the group centre), and
- Stage 3 – suburbs north of the Molonglo River.

Vision for Molonglo Group Centre and surrounds

The Molonglo Group Centre is the primary commercial centre for the community in the Molonglo valley. The group centre will be a focus for community life with safe and inviting public spaces and streets for people to linger and easily move around the centre. Buildings and infrastructure will be designed and delivered through best practice urban design, sustainability and innovation principles. Public transport and active travel routes will seamlessly connect the centre to the surrounding neighbourhoods, recreational spaces and to the wider areas of Canberra.

The Molonglo River corridor, surrounding landscape and hills are key landscape features that will be celebrated through the design of the built form to provide places, parks and recreational opportunities for the people who visit, work and live in the Molonglo valley.

Application

This plan applies to land at Molonglo, as shown on Figure 1.

Parts A and B of this plan apply only to the future urban area (FUA) of the Molonglo Group Centre and surrounds. The FUA will diminish in size as estate development plans are approved, and final zones established under part 5.5 of the *Planning and Development Act 2007*.

Part C is intended to apply to development after the FUA is uplifted and the ongoing provisions will be relocated to the relevant precinct code. Some ongoing provisions in **Part B** may also be relocated to an appropriate precinct code as a part of the FUA uplift.

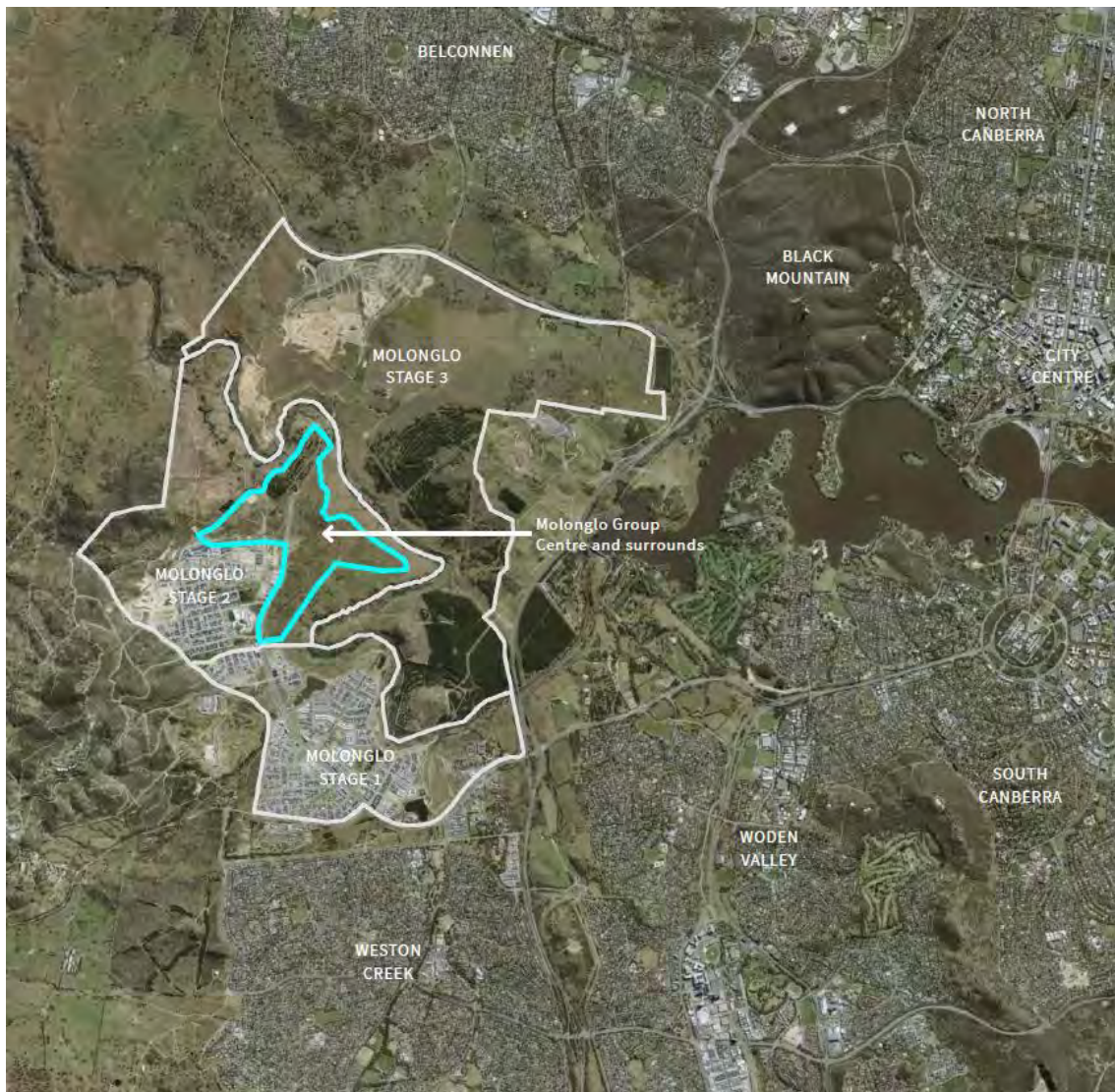


Figure 1: Location of Molonglo Group Centre and surrounds

Code hierarchy

This concept plan is a **precinct code** under the *Planning and Development Act 2007*.

More than one type of code may apply to a particular development proposal. Occasionally inconsistencies between the provisions arise, particularly where a precinct code seeks to apply special provisions in response to particular local circumstances or planning issues.

Where this occurs, a **precinct code** prevails over a **development code** and a **general code**, but only to the extent of the inconsistency.

Acronyms

CMTEDD S&R Chief Minister's and Economic Development Directorate Sport and Recreation

ESA ACT Emergency Services Agency

EPSDD Environment, Planning and Sustainable Development Directorate

TCCS Transport Canberra and City Services

Purpose

The purpose of this plan is to provide a planning and design framework to:

- a. guide the design and assessment of the Molonglo Group Centre and surrounds
- b. guide the design and development of individual blocks and the public realm.
- c. inform the allocation of final land use zones at the time when a parcel of land ceases to be part of the future urban area following subdivision
- d. ensure that planning and development is consistent with the Molonglo Valley Strategic Assessment.

Desired planning outcomes

The purpose of the development controls (i.e. rules and criteria) is to:

Sustainability and innovation

1. Incorporate sensitive design of the Molonglo Group Centre and surrounds to protect existing heritage, cultural and environmental values of the site, including the pink-tailed worm-lizard habitat and Box Gum Woodland.
2. Encourage development that aims to achieve net zero emissions in transport, buildings and precincts.
3. Incorporate living infrastructure principles and key directions in the ACT Climate Change and Adaption Strategy into precinct designs.
4. Promote energy efficiency and sustainability through urban design.
5. Allow flexibility in building heights and encourage a built form that responds to existing topography and the natural environment and to minimise cut and fill.
6. Enable solar access to public spaces particularly in the winter months, to provide pleasant spaces for community and to promote healthy growth of plants and trees.
7. Protect the public realm by limiting overshadowing and wind impacts on streets and public places.

Place for community and economic life

8. Promote land uses that support new businesses and commercial enterprises that provide employment opportunities, shops, services and an economic life in the heart of the Molonglo Valley.
9. Commercial:
 - a. The group centre is the principal commercial and retail centre for the district of Molonglo Valley.
 - b. Promote access and connectivity to the group centre core, services, and community facilities with residential precincts and external features such as Molonglo River Reserve and the urban open space network.
 - c. Promote the incorporation of interactive, human scale, ground level building frontages to the streets and public realm.
 - d. Provide for a range of retail/commercial uses that are interconnected with community facilities and spaces.

- e. Encourage a mix of uses, including retail/commercial uses, residential and community facilities and create strong links, accessibility and amenity to foster a sense of place and community identity that includes:
 - i. people friendly frontages that provide a human scale
 - ii. protected/covered pedestrian movement corridors
 - iii. residential access is integrated at the ground level of buildings
 - iv. use of thoroughfares or alleyways through blocks with interactive ground floor uses
 - v. residential uses must not compromise ground floor commercial uses.
10. Provision of a diversity of housing and recreational opportunities for a significant residential population that will access the centre regularly to work, shop, meet, linger and relax.

Residential:

- a. Provide for diverse housing zones, types, sizes and densities to meet the changing needs of the community.
- b. Provide for social and/or community housing.
- c. Ensure development offers a variety of dwelling types and sizes that encourages different ways to live, such as co-housing and ageing in place.
- d. Provide a mix of urban, compact, multi-unit dwelling types and sizes that improves access to, and supports families, affordability and adaptability.
- e. Design the verges, buildings and public spaces to provide amenity for residents and minimise traffic noise on residential development.

Recreation:

- f. Integrate community and recreation facilities to enhance the quality of the commercial core and its surrounds.
- g. Include spaces that can be used for activities, gatherings and performances such as a town square.
- h. Connect recreational uses in the group centre to major recreation spaces in the Molonglo Valley, including the Molonglo River corridor.

Community and services:

- i. The provision of two educational sites within a community facility zone.
- j. Facilities may include an emergency services facility, a police station, educational facilities, community facilities, an indoor stadium/gym, club and recreational uses.
- k. Where possible, community uses will be co-located in highly accessible locations to active travel routes and public transport stops.

Connection to place and the Molonglo River corridor

- 11. Incorporate the exceptional landscape setting and high-quality remnant trees as a feature of the group centre and surrounds, and guide where key public spaces are located.
- 12. The knoll, located at the highest point of the group centre site will become a local urban park that offers views across the Molonglo Valley landscape to Black Mountain, Mount Painter and the Molonglo River corridor. In creating this place, engagement with Ngunnawal people through the Dhawura Ngunnawal Caring for Country Committee and the United Ngunnawal Elders Council, will be important to explore how the areas Ngunnawal culture can be celebrated in the public places and spaces.

13. Create a series of interconnected open spaces using streets and public spaces to connect the Molonglo River Corridor and Cravens Creek surrounds to the west.
14. The interconnected open spaces will offer recreation and social opportunities that will benefit the health and wellbeing of the community and provide high levels of amenity.
15. The urban edge is designed to minimise bushfire risk associated with the Molonglo River Reserve, and potential impacts on the nature reserve and matters of national environmental importance.
16. Encourage planting of local tree and plant species in the open spaces to strengthen links between the natural and built environments

Built form in the landscape

17. Design the built form to appropriately respond to the existing landscape and topography of the Molonglo Valley.
18. Buildings are designed to provide a gradual transition in height and scale, from a lower and 'finer grain' of development in the suburban areas adjoining the group centre and its surrounds, to a taller built form and larger block sizes in the group centre.
19. Ground floor levels in the group centre will face the streets and key public spaces, such as the town plaza, to promote a safe and active pedestrian environment.
20. Building heights will respond to the undulating topography and allow for key views out to the broader landscape and surrounds.
21. The height of buildings in the group centre are to be of a 'human scale' of approximately two to three storeys facing the street, with taller building elements setback away from the streets and public spaces.
22. The group centre provides a mix of land uses and housing types, sizes and densities to meet the changing needs of the community.
23. Provision will be made for social and/or community housing.

Accessible and connected

24. Promote high levels of accessibility, including for people with a disability, to the group centre from the surrounding residential areas and connectivity to the broader city travel networks.
25. Provide a hierarchy of streets to allow for all modes of travel including pedestrians, active travel (cyclists and other modes of sustainable transport), public transport and vehicles.
26. Provide wide street verges to create ease of movement for people with a disability in the group centre and to promote pedestrians and active travel modes as the primary way of moving around the centre.
27. John Gorton Drive is the main north-south arterial road through Molonglo Valley designed to provide for public transport, including the opportunity for light rail.
28. An east-west arterial road links the group centre and surrounding residential areas to the Tuggeranong Parkway, via a new bridge crossing of the Molonglo River and the south-east precinct of Molonglo 3 East development. The arterial road is designed to provide for public transport and safe pedestrian access crossings into the group centre.
29. Incorporate pedestrian and cycle paths which are designed to use the area's topography to provide accessible networks for all people, including for people with a disability and connect the group centre to the wider Molonglo Valley.
30. Locate a bus interchange in the group centre as a focal space for community to access the centre.

31. Introduce innovative parking solutions to reduce the need for dedicated parking spaces in the group centre.

Legible and safe commercial centre

32. Promote seamless, direct and safe pedestrian and active travel paths, including catering for people with a disability.
33. Encourage street networks and pedestrian/active travel networks to be well lit and include wayfinding/ information signage.
34. Promote streets, development and public spaces that are designed to be safe, welcoming, gender inclusive and suitable for use by people with a disability.
35. Encourage the design of streets and public spaces to reflect the culture and diversity of the community.
36. Promote spaces that allow for the incorporation of public art to increase the amenity and promote sense of place in the group centre.
37. Encourage continuous retail frontages of buildings in the group centre by building to the edge of the block boundary to create clear and cohesive public and private open spaces.
38. Locate active uses, such as shops, at ground floor level along main pedestrian routes to provide surveillance and street activity.
39. Retain views from the group centre to significant landscape features, such as Black Mountain, to assist people to easily navigate the group centre and promote a sense of place.
40. Encourage the design and placement of high quality streetscape elements that provide a safe, open and accessible pedestrian environment for all people.

Part A – Land use

Element 1: Land use zones

Rules	Criteria
1.1 Land use plan	
<p>R1</p> <p>The land use plan submitted with an estate development plan (EDP) is in accordance with the Territory Plan map under the future urban area overlay.</p>	<p>C1</p> <p>The land use plan submitted with an EDP is generally in accordance with Figure 2 and Table 1 for land area of zones and includes the following zones:</p> <ul style="list-style-type: none"> a) Commercial <ul style="list-style-type: none"> i) CZ1 Core ii) CZ3 Services iii) CZ5 Mixed Use b) Community <ul style="list-style-type: none"> i) Community facility c) Parks and Recreation <ul style="list-style-type: none"> i) PRZ1 Urban Open Space ii) PRZ2 Restricted Access Recreation zone d) Residential <ul style="list-style-type: none"> i) RZ3 Urban Residential ii) RZ4 Medium Density Residential iii) RZ5 High Density Residential <p>Note: Refer to Image 1 for an illustrative concept plan.</p>
<p>R2</p> <p>The commercial zones in the Molonglo Central precinct (Figure 10) are limited to the following:</p> <ul style="list-style-type: none"> a) CZ1 - Core b) CZ3 - Services 	<p>This is a mandatory requirement. There is no applicable criterion.</p>

Element 2: Emergency services

Rules	Criteria
2.1 Emergency services	
<p>R3</p> <p>An area of 0.6 hectares is reserved for emergency services in the commercial CZ1 Core zone.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>There is no applicable rule.</p>	<p>C4</p> <p>The location of the emergency services site is to the satisfaction of the relevant agency.</p>
<p>R5</p> <p>A site of 1.2 hectares is reserved for emergency services in the commercial CZ3 Services zone.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>There is no applicable rule.</p>	<p>C6</p> <p>The emergency services site achieves all of the following:</p> <ul style="list-style-type: none"> a) directly fronts John Gorton Drive b) incorporates side road access and provides a separate ingress and egress to the site and be endorsed by TCCS c) the shape of the block is rectangular or evenly shaped with approximate dimensions of 140m x 80m d) the block has a maximum grade of 5% e) endorsement by ESA.

Element 3: Community facilities

Rules	Criteria
3.1 Community facilities	
<p>R7</p> <p>A minimum of 16.7 hectares is provided for community facility uses.</p> <p>Note: The area provided for community facilities uses is calculated as the combined area of land zoned Community Facility and floor space dedicated to community uses.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>There is no applicable rule.</p>	<p>C8</p> <p>Community facilities are to be provided either on community facility zoned land or as co-located community facilities in commercial zones as shown in Figure 3.</p>
<p>There is no applicable rule.</p>	<p>C9</p> <p>Provision of community facilities is based on a community needs assessment.</p> <p>Note: The community needs assessment:</p> <ul style="list-style-type: none"> a) is required to be undertaken to the satisfaction of EPSDD b) identifies proposed community uses either as land area or equivalent floor space c) considers the community facility needs of the broader Molonglo Valley district d) preparation requires consultation with the community.
<p>R10</p> <p>Two School sites are to be provided in locations as identified in Figure 3 and comply with all of the following:</p> <ul style="list-style-type: none"> a) a site of at least 4.3 hectares in Denman Prospect precinct (Figure 10) b) a site of at least 9.3 hectares in Molonglo East precinct (Figure 10). 	<p>C10</p> <p>Location of two school sites are generally located and are of a size as indicated in Figure 3 and are to the satisfaction of the Education Directorate.</p>
<p>There is no applicable rule.</p>	<p>C11</p> <p>Medium to smaller scale community facilities, such as a library, address all of the following:</p> <ul style="list-style-type: none"> a) are co-located within mixed use development in the commercial CZ1 Core zone b) are located close to the town park c) are accessible from the ground floor level.

Rules	Criteria
<p>R12</p> <p>The provision of a recreation facility site of at least 1.5 hectares.</p>	<p>C12</p> <p>Sport and recreation facilities are provided in locations that are generally in accordance with Figure 2 and to the satisfaction of CMTEDD S&R.</p> <p>Note: Where feasible, multi-purpose indoor courts may be introduced at government school sites and be made available for use by clubs and other sporting groups.</p>

Part B – Subdivision

Element 4: Dwelling Yield

Rules	Criteria
4.1 Dwelling yield	
R13 Dwelling yield is in accordance with Table 1 and Figure 10.	This is a mandatory requirement. There is no applicable criterion.

Element 5: Movement networks

5.1 Movement network	
R14 The road and circulation network hierarchy and linkages are consistent with Figure 4.	C14 The road and circulation network hierarchy and linkages are generally consistent with Figure 4 and to the satisfaction of TCCS.
R15 Active travel routes are consistent with Figure 6.	C15 Active travel routes are generally designed in accordance with Figure 6 and the Molonglo Valley Active Travel Master Plan. Active travel routes provide accessible and direct linkages to the group centre core, other suburbs of the Molonglo Valley, recreational areas, schools, play spaces and key activity nodes.
There is no applicable rule.	C16 Signalised pedestrian crossings are provided at key intersections and are generally consistent with Figure 4.
There is no applicable rule.	C17 Design of verges, footpaths and cycle paths achieve all of the following: <ul style="list-style-type: none"> a) grades that are accessible for pedestrians, including people with a disability, cyclists and assistive mobility equipment, and support an active travel accessible and walkable group centre and surrounds b) minimise cut and fill c) compliment the contours of the site by minimising steep gradients.

Rules	Criteria
There is no applicable rule.	<p>C18</p> <p>The east-west arterial road is designed to achieve all of the following:</p> <ul style="list-style-type: none"> a) provide a direct eastern connection from the suburbs of Molonglo and Denman Prospect across the Molonglo River to the Tuggeranong Parkway b) limits intersections and roundabouts outside of the urban area.
<p>R19</p> <p>A public transport interchange and rapid transport station to be developed as identified in Figure 5.</p>	<p>C19</p> <p>The location of the public transport interchange and rapid transport station is to be generally consistent with Figure 5.</p>
There is no applicable rule.	<p>C20</p> <p>The design of the bus interchange and the rapid transport station meets all of the following:</p> <ul style="list-style-type: none"> a) the rapid transport station is designed to be adaptable for light rail b) operates in a similar way with local transport as the interchange at Northbourne Avenue and Cape Street in Dickson c) responds to the requirements of an analysis of public transport operational needs.
There is no applicable rule.	<p>C21</p> <p>The design of the bus interchange meets all of the following:</p> <ul style="list-style-type: none"> a) is integrated with the town plaza and group centre shops, services and community facilities b) provides space for large canopy street trees and landscaping.
There is no applicable rule.	<p>C22</p> <p>Public transport vehicles are prioritised at intersections within the Molonglo Central precinct (Figure 10) to the satisfaction of TCCS.</p>

Rules	Criteria
<p>R23</p> <p>Bus layover is to be provided in the CZ3 Services Zone and provides all of the following:</p> <ul style="list-style-type: none"> a) toilet facilities b) shelter suitable for taking meal breaks. 	<p>C23</p> <p>Bus layover is provided in the CZ3 Services zone and to the satisfaction of TCCS.</p>
<p>There is no applicable rule.</p>	<p>C24</p> <p>End of trip and bike and ride facilities are provided within the group centre and provide a seamless connection to active travel networks and uses in the group centre.</p>
<p>There is no applicable rule.</p>	<p>C25</p> <p>Bike and ride, and park and ride facilities are provided as a part of the public transport network and are provided in locations to the satisfaction of TCCS.</p>

Element 6: Open space networks and parks

6.1 Open space networks and parks	
<p>There is no applicable rule.</p>	<p>C26</p> <p>The open space network is a series of formal and informal open spaces as well as natural areas and is to be designed generally in accordance with Figure 7 and includes:</p> <ul style="list-style-type: none"> a) areas of natural habitat b) ponds for stormwater management and urban amenity including a focal point for community and wildlife c) a town park d) a town plaza e) local parks f) urban open space connections g) linkages to the Molonglo River Reserve and Craven Creek to the west h) east-west green link i) large canopy trees which promote movement of birdlife and wildlife, and contribute to cooling of the urban areas.

Rules	Criteria
There is no applicable rule.	<p>C27</p> <p>The location of key public spaces is generally consistent with Figure 7. Where possible, exceptional and high-quality trees are to be located in urban open space.</p>
There is no applicable rule.	<p>C28</p> <p>Where appropriate, local tree and plant species are used in the open spaces to strengthen the link between natural and built environments.</p>
There is no applicable rule.	<p>C29</p> <p>The location and design of open spaces and urban places celebrate Ngunnawal culture and contribute to a respect for the people and values and recognise their knowledge, lore, protocols, language, and aspirations for Ngunnawal country.</p> <p>Note: Engagement with Ngunnawal people through the Dhawura Ngunnawal Caring for Country Committee and the United Ngunnawal Elders Council, is to be undertaken to inform how the group centre and open spaces can celebrate Ngunnawal culture.</p>
There is no applicable rule.	<p>C30</p> <p>A town park is located generally in accordance with Figure 7 at the knoll which is at the highest point of the group centre and is designed to retain remnant trees.</p>
There is no applicable rule.	<p>C31</p> <p>The open space network provides a diverse range of facilities, to the satisfaction of TCCS, that includes:</p> <ul style="list-style-type: none"> a) community spaces and includes formal and informal play spaces as well as gathering and performance spaces b) landscaped features c) connection to pedestrian and active travel networks.

Element 7: Urban edge and bushfire management

Rules	Criteria
7.1 Urban edge and bushfire management	
There is no applicable rule.	<p>C32</p> <p>The Molonglo Group Centre and surrounds urban edge is designed to achieve all of the following:</p> <ul style="list-style-type: none"> a) an attractive recreation space which establishes a clear perimeter for urban development b) protecting and enhancing the social and ecological value of the Molonglo River Reserve c) accommodate essential trunk infrastructure as required d) manage urban stormwater in accordance with water sensitive urban design principles e) minimise potential impacts on the nature reserve and matters of national environmental importance and in consideration of the Molonglo River Reserve management plan f) minimise bushfire risk to the urban areas.

Rules	Criteria
There is no applicable rule.	<p>C33</p> <p>Figure 8 indicates a preliminary bushfire protection zone plan and the detailed design of the urban edge (interface between urban development and the Molonglo River Reserve). Bushfire protection zones are to be established to the satisfaction of ESA and TCCS and address all of the following:</p> <ul style="list-style-type: none"> a) measures taken to minimise the impact on the Molonglo River Reserve b) integration of trunk infrastructure services with paths and circulation networks c) topography, walls, paths, trees and other landscape infrastructure d) integrate edge roads and shared path networks and inner asset protection zones to form part of the urban edge e) undertake a bushfire risk assessment report conducted by a qualified bushfire risk consultant, that includes bushfire attack level (BAL) ratings and mitigations.
There is no applicable rule.	<p>C34</p> <p>Edge roads are designed to achieve all of the following:</p> <ul style="list-style-type: none"> a) opportunities for recreation/active travel b) on-street parking c) street lighting d) incorporate large canopy street trees e) development addresses edge roads providing casual surveillance f) slow vehicle speed environment to allow safe pedestrian crossings.
<p>R35</p> <p>Edge street road reserves including verges and cycle paths form part of the inner asset protection zone.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R36</p> <p>Edge roads do not encroach into the Molonglo River Reserve or protected habitat.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>

Rules	Criteria
7.2 Sustainability and innovation	
There is no applicable rule.	<p>C37</p> <p>Subdivision of the Molonglo Group Centre and surrounds is sensitively designed to:</p> <ul style="list-style-type: none"> a) protect the existing heritage values of the area b) protect the environmental values of the site, including the pink-tailed worm-lizard habitat and Box Gum Woodland c) incorporate verge widths are designed to allow for large canopy street trees that will contribute towards a 30% tree canopy coverage in the Molonglo Valley d) to retain high quality remnant trees within street verges and public spaces.
There is no applicable rule.	<p>C38</p> <p>Encourage the efficient use of energy by addressing all of the following:</p> <ul style="list-style-type: none"> a) assessment of energy ratings at block design level b) integration of public transport and neighbourhood layout to promote walking and cycling

Part C – Additional Rules and Criteria

The following provisions which remain relevant following the uplift of the future urban area will be transferred to the relevant precinct map and code.

Element 8: Use

Rules	Criteria
8.1 Use	
R39 Residential use is prohibited in the Commercial CZ3 Services zone.	This is a mandatory requirement. There is no applicable criterion.
R40 In the southern portion of the CZ1 Core zone to the south of the green link and town park (as identified in Figure 7) residential development at ground and first floor levels is prohibited.	This is a mandatory requirement. There is no applicable criterion.
R41 The school site in the Molonglo East precinct (Figure 10) includes a town oval which is to be accessible to the public outside of school hours.	This is a mandatory requirement. There is no applicable criterion
R42 The school site in the Denman Prospect precinct (Figure 10) includes a playing field which is to be accessible to the public outside of school hours.	This is a mandatory requirement. There is no applicable criterion
8.2 Shops – floor area	
R43 The maximum gross floor area for a shop is 250m ² in the Commercial CZ5 Mixed Use zone.	This is a mandatory requirement. There is no applicable criterion.

Element 9: Buildings

Rules	Criteria
9.1 Buildings	
R44 Maximum height of building is in accordance with Figure 9.	This is a mandatory requirement. There is no applicable criterion.

Rules	Criteria
There is no applicable rule.	<p>C45</p> <p>Consistent with R44 and Figure 9 the design of buildings achieve all of the following:</p> <ul style="list-style-type: none"> a) development provides a gradual transition in density and scale, from a lower density and building height of development in the suburban areas, to a taller built form and larger block size in the group centre b) buildings in the group centre are designed to create a visually identifiable commercial centre in the Molonglo Valley.
<p>R46</p> <p>Taller building elements are provided in locations identified in Figure 9 and are a maximum of 16 storeys and 56m.</p>	This is a mandatory requirement. There is no applicable criterion.
There is no applicable rule.	<p>C47</p> <p>Taller building elements achieve all of the following:</p> <ul style="list-style-type: none"> a) contribute to a distinct and recognisable urban silhouette as viewed from significant sites outside the Molonglo group centre, such as the National Arboretum and Black Mountain b) location and design retains reasonable solar access of nearby residential sites and important public spaces, including the town plaza and town park c) are setback from lower floor levels a minimum of 8 metres d) high quality and aesthetically interesting design e) incorporate green infrastructure f) provide an interesting and distinct architectural design with a distinct base, middle and top g) floor plates are limited to a maximum of 800m² to allow sunlight into apartments and limit building scale and overshadowing of buildings and public spaces h) encourage green roofs, roof top recreation facilities and gardens.

	<p>For the purpose of calculating floor plate for this criterion, all internal areas such as dwellings, office space, indoor amenities, elevator cores, storage spaces, stairwells and hallways are included and inset or projecting balconies are excluded.</p> <p>Note 1: Refer to Image 2 and Image 3 for an artist impression of street elevations.</p> <p>Note 2: Incorporate sustainability and innovative design features (refer Element 11 of this Code).</p>
Rules	Criteria
<p>R48</p> <p>Building height at the block boundary, for buildings within the CZ1 Core zone are a maximum of 15m as indicated in Diagrams 2 and 3.</p> <p>Floor levels above 15m are to be setback a minimum 4m from the floors below.</p> <p>Note: This rule provides a human scale of development and allow solar access to street verges.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R49</p> <p>This rule applies to buildings located in the Commercial CZ1 Core zone on the:</p> <ul style="list-style-type: none"> a) main street b) northern side of a street or public open space c) western side of John Gorton Drive d) southern side of the east-west access street adjoining the town plaza. <p>Floor levels above 15m are setback at a 45 degree angle as indicated in Diagrams 1, 2, 3 and 5.</p> <p>This rule does not apply to taller building elements identified in Figure 9.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R50</p> <p>This rule applies to buildings located in the Commercial CZ1 Core zone on the northern side of the east-west access streets.</p> <p>Floor levels above 15m are setback at a 30 degree angle as indicated in Diagrams 4 and 5.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>

Rules	Criteria
<p>There is no applicable rule.</p>	<p>C51</p> <p>The main street is designed with all of the following:</p> <ul style="list-style-type: none"> a) wide street verges b) large canopy street trees c) active frontages facing the street d) consistent with Diagrams 1 and 2. <p>Note: The main street will be a slow speed vehicle environment where pedestrians are prioritised.</p>
<p>R52</p> <p>Mandatory active frontages for buildings facing the main street, bus interchange and town park, as identified in Figure 5 comply with all of the following:</p> <ul style="list-style-type: none"> a) buildings fronting streets and/or public open spaces incorporate display windows and shop fronts at the ground floor level b) buildings incorporate direct pedestrian access at grade with the verge level for access and egress for persons with disabilities c) All other buildings in the CZ1 Core Zone are to provide no more than a 30% blank façade at the ground floor level, where the building is facing a street or public space. 	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R53</p> <p>In the CZ1 Core zone podium parking and ground level car parking is prohibited at ground and first floor levels except where it can meet the requirements of C58.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>

Element 10: Parking and site access

Rules	Criteria
10.1 Parking and site access	
There is no applicable rule.	<p>C54 Parking associated with sport and recreation facilities are to remain available to the public.</p>
<p>R55 A maximum of one vehicular access/egress point is provided to car parking areas per block for each street frontage.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R56 Vehicle access from blocks to the main street is prohibited.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
There is no applicable rule.	<p>C57 All access/egress points achieve all of the following:</p> <ul style="list-style-type: none"> a) are clearly defined b) visually recessive in the built form.
There is no applicable rule.	<p>C58 Car parking in the CZ1 Core zone achieves all of the following:</p> <ul style="list-style-type: none"> a) surface carparking is minimised and used only as a temporary measure, unless screened by buildings b) parking areas, including ground level parking, multi-level car parks and podium parking, are concealed and screened by buildings with active development frontages or residential uses where permitted c) opportunities for on-street parking are provided and integrated with street trees and landscaping d) natural topography of the land is utilised to promote multi-level car parking in basements and undercroft development e) short term parking in the Molonglo Central precinct (Figure 10) is provided centrally with longer term parking provided at the periphery of the CZ1 Core zone.

Element 11: Road Hierarchy and Design

Rules	Criteria
11.1 Road Hierarchy and Design	
There is no applicable rule.	<p>C59</p> <p>The east-west access streets are designed with all of the following:</p> <ul style="list-style-type: none"> a) wide street verges b) large canopy street trees c) consistent with Diagram 4 d) comfortable pedestrian environment e) on-street parking.
Rules	Criteria
There is no applicable rule.	<p>C60</p> <p>John Gorton Drive is designed as the highest order street in the Molonglo district with trunk public transport access and achieves all of the following:</p> <ul style="list-style-type: none"> a) a more urban character as it passes through the commercial centre b) contributes to a sense of arrival at the centre c) buildings are designed to provide surveillance over the street d) active uses face main public transport stops <p>Note: Rapid public transport connections along John Gorton Drive are anticipated to be replaced by light rail in the longer term.</p>
There is no applicable rule.	<p>C61</p> <p>The east-west arterial road is generally designed in accordance with Diagram 6 and achieves all of the following:</p> <ul style="list-style-type: none"> a) as the road approaches the commercial centre from the east and the west it transitions to a more urban character and function b) safe and engaging public spaces c) active and diverse building frontages d) shops and services at the ground floor level in the group centre and service trades area are designed to face the east-west arterial road e) maximise views and vistas over parkland and urban spaces

	<ul style="list-style-type: none"> f) buildings are designed to provide surveillance over the street while preserving the privacy of residents g) incorporate gardens and green frontages in residential zones to enhance the parkland address h) provide: <ul style="list-style-type: none"> i) efficient access to residential estates ii) for movement of cars, cyclists and pedestrians iii) on-street parking iv) safe and priority pedestrian crossings to connect active travel routes with the group centre.
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Element 12: Sustainability and innovation

Rules	Criteria
12.1 Sustainability and innovation	
There is no applicable rule.	<p>C62</p> <p>Buildings are designed to address all of the following:</p> <ul style="list-style-type: none"> a) retain high levels of solar access to public spaces b) limit overshadowing and wind impacts on streets and public spaces c) incorporate living infrastructure such as green walls and roofs to promote a cooler urban environment and high amenity places d) encourage high building energy efficiency and use of renewable energy sources.
There is no applicable rule.	<p>C63</p> <p>Streets and public spaces are designed to address all of the following:</p> <ul style="list-style-type: none"> a) incorporate water sensitive urban design elements b) include large scale canopy trees to provide shade, amenity and opportunity for wildlife to easily move through the area c) incorporate local tree and plant

	<p>species at the urban edge and in other appropriate locations to strengthen the design and transition of the built environment with the adjoining natural environment of the Molonglo River corridor</p> <p>d) design high amenity streets and public spaces that encourage people to walk and use sustainable modes of transport</p> <p>e) design streets and public spaces to retain high quality remnant trees.</p>
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Element 13: Open space networks

Rules	Criteria
13.1 Open space networks	
There is no applicable rule.	<p>C64</p> <p>Public spaces, including parks and plazas are designed to celebrate Ngunnawal culture and respect their values.</p> <p>Note: To inform how the area’s Ngunnawal culture can be celebrated, engagement with Ngunnawal people through the Dhawura Ngunnawal Caring for Country Committee and the United Ngunnawal Elders Council, is undertaken.</p>
There is no applicable rule.	<p>C65</p> <p>The design of open spaces incorporates consideration of the following:</p> <ul style="list-style-type: none"> a) community spaces b) formal and informal play spaces c) landscape features d) connection to movement networks and cycle paths.
There is no applicable rule.	<p>C66</p> <p>The group centre town plaza adjoining the main street is designed with all of the following:</p> <ul style="list-style-type: none"> a) have an average width of 25m parallel to the street to provide spaces for people to meet, relax and spend time b) allow for temporary uses including markets, stalls and community activities consistent with Diagram 5.

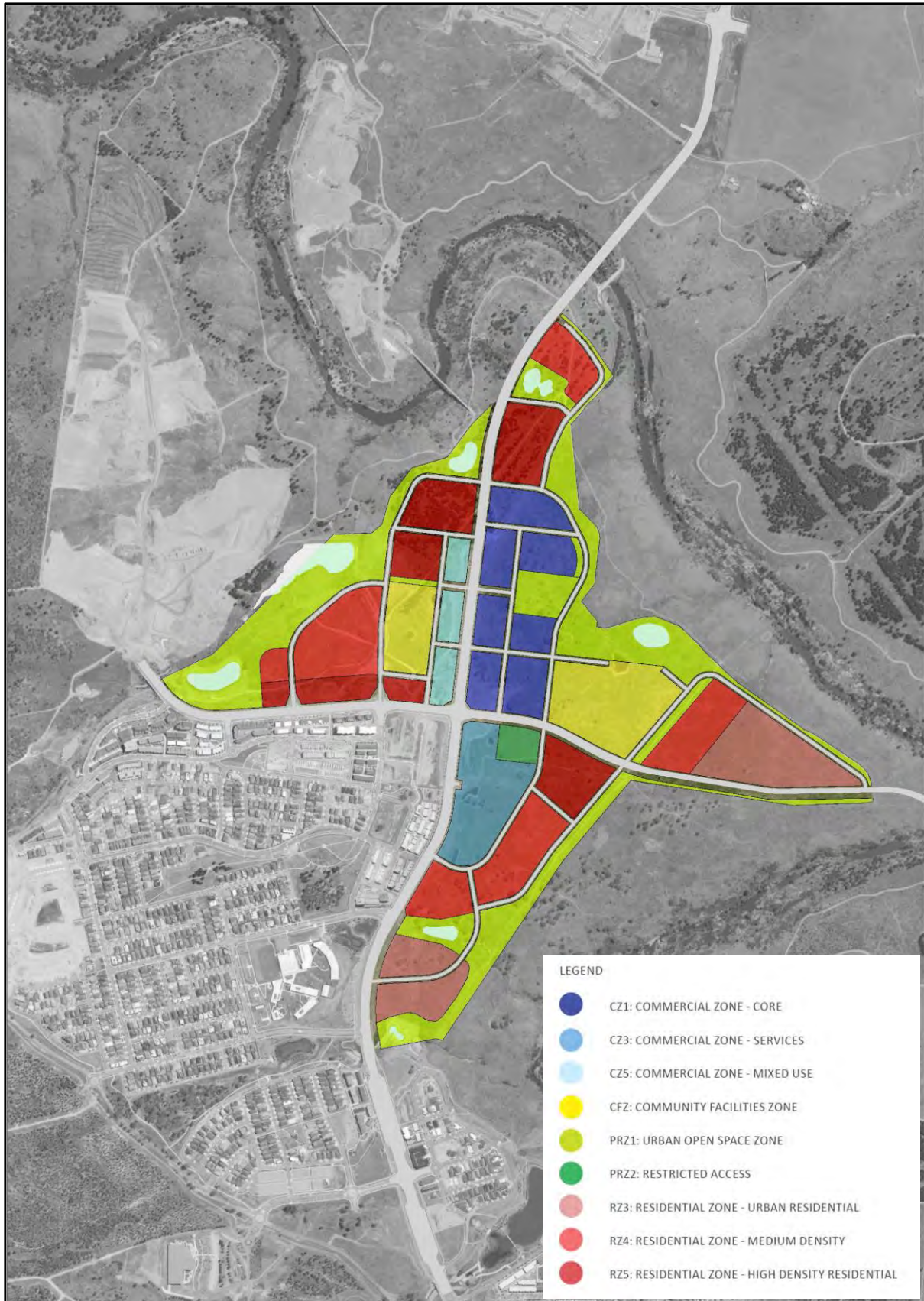


Figure 2: Land use zones

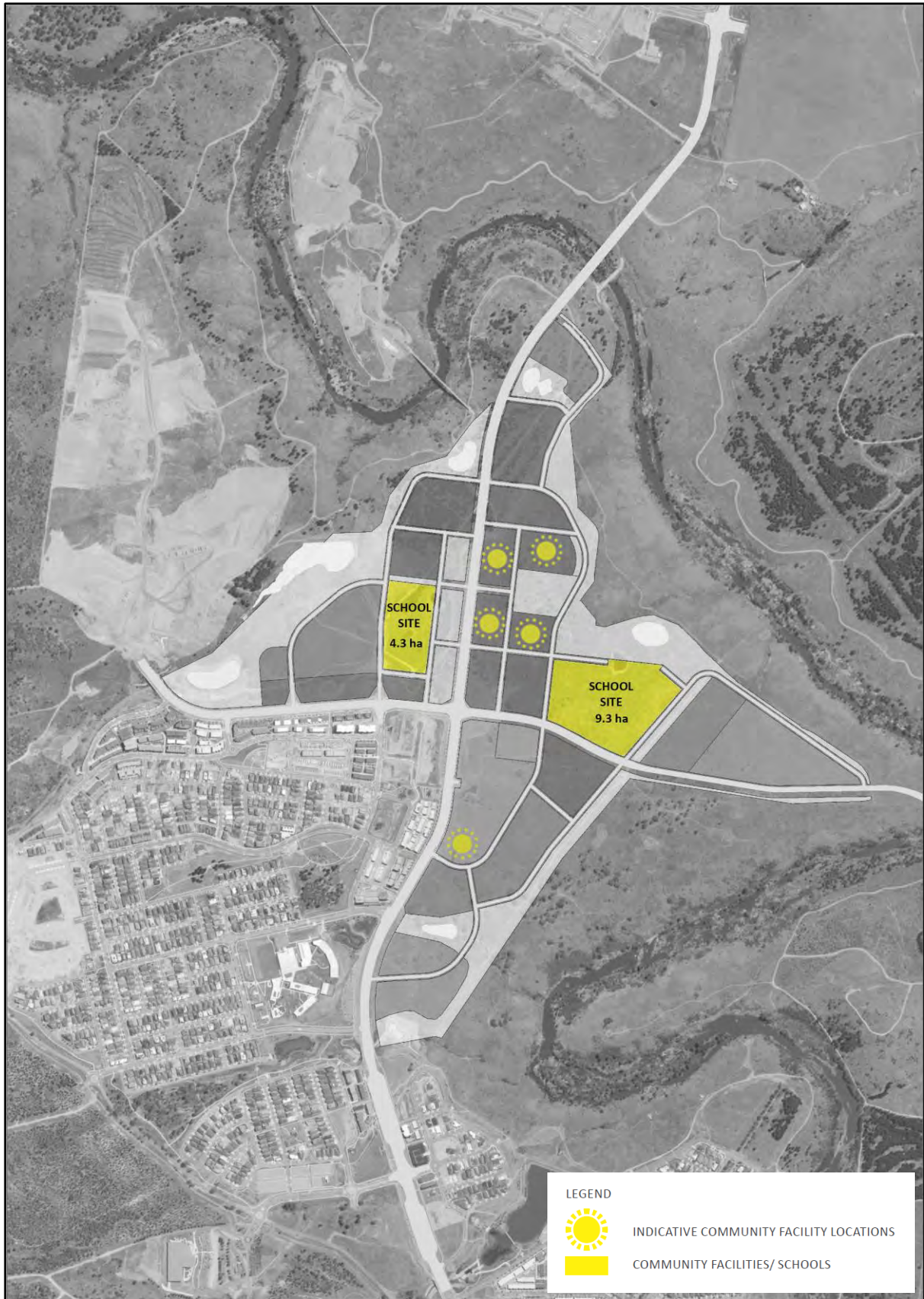


Figure 3: Community facilities

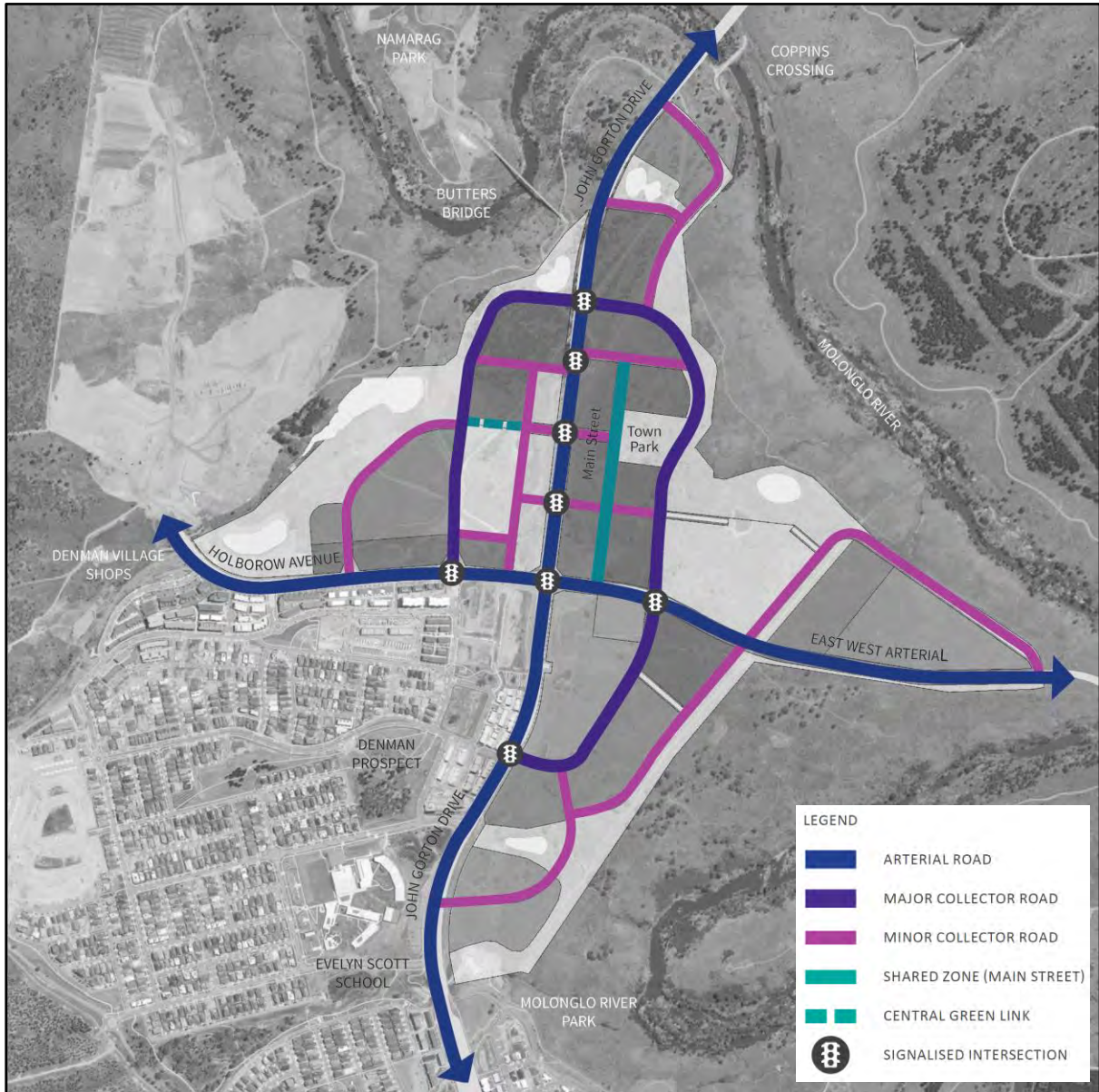


Figure 4: Street network and hierarchy



Figure 5: Public transport and indicative bus station location

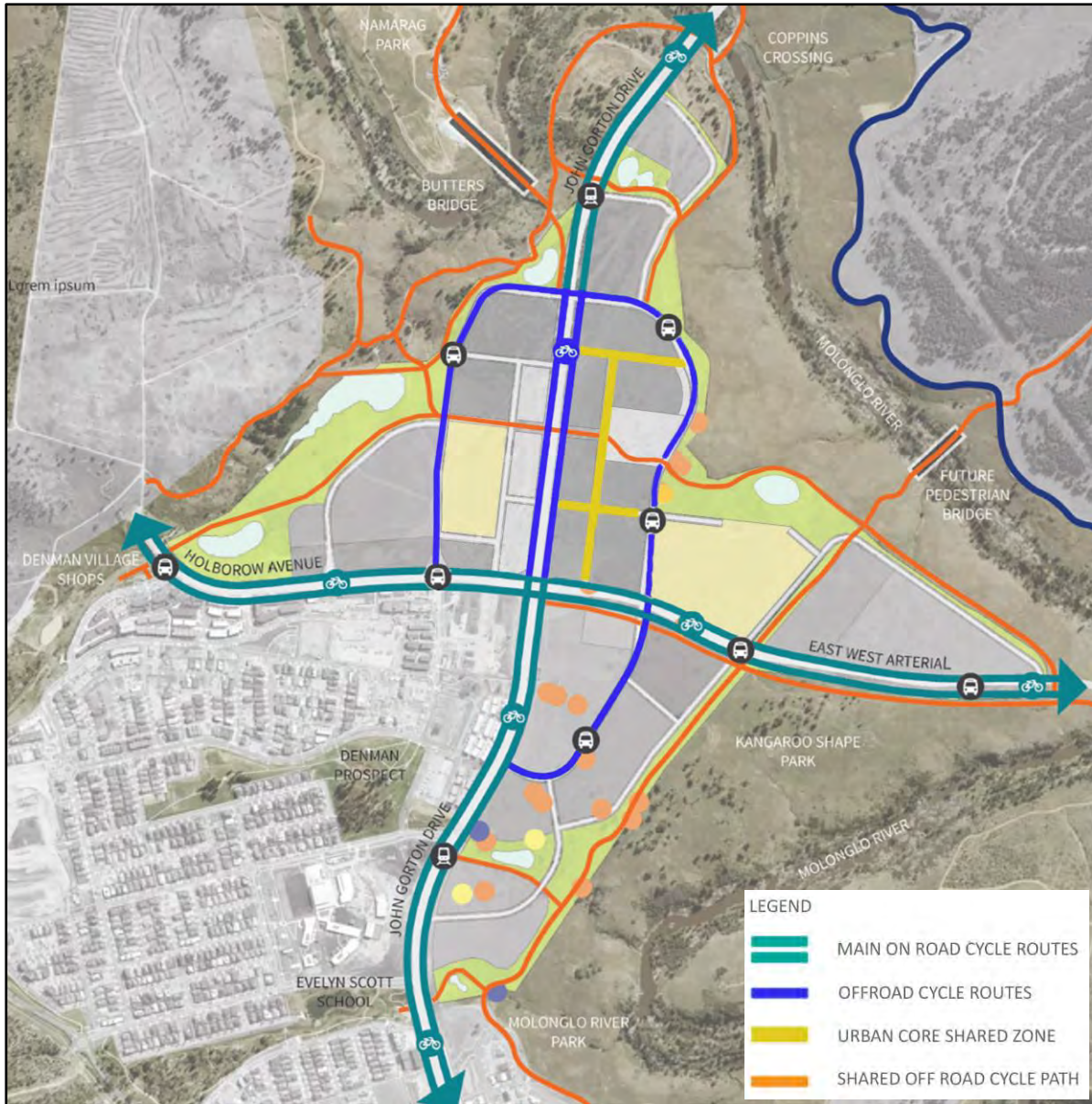


Figure 6: Active travel networks

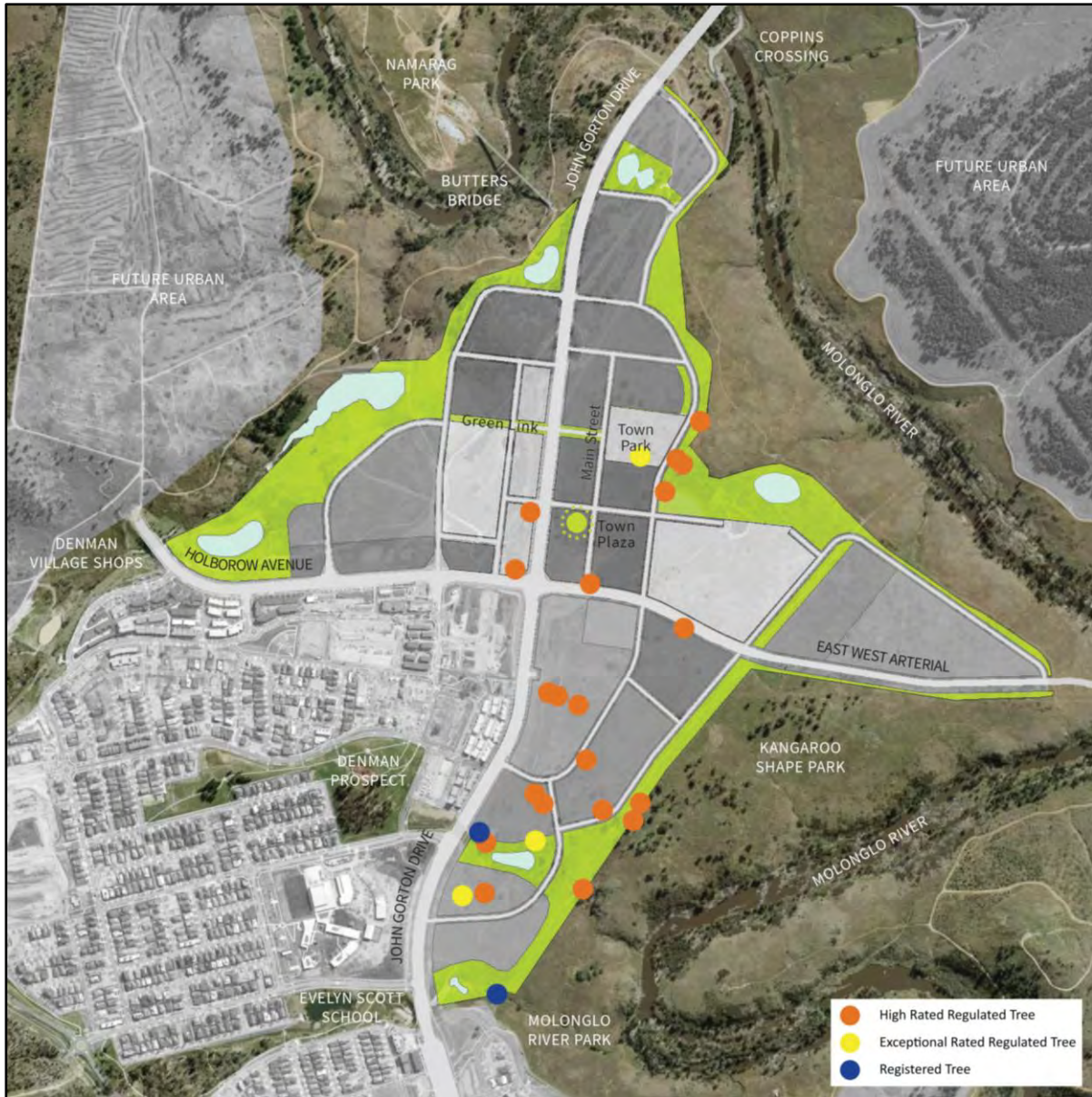


Figure 7: Open space network and parks

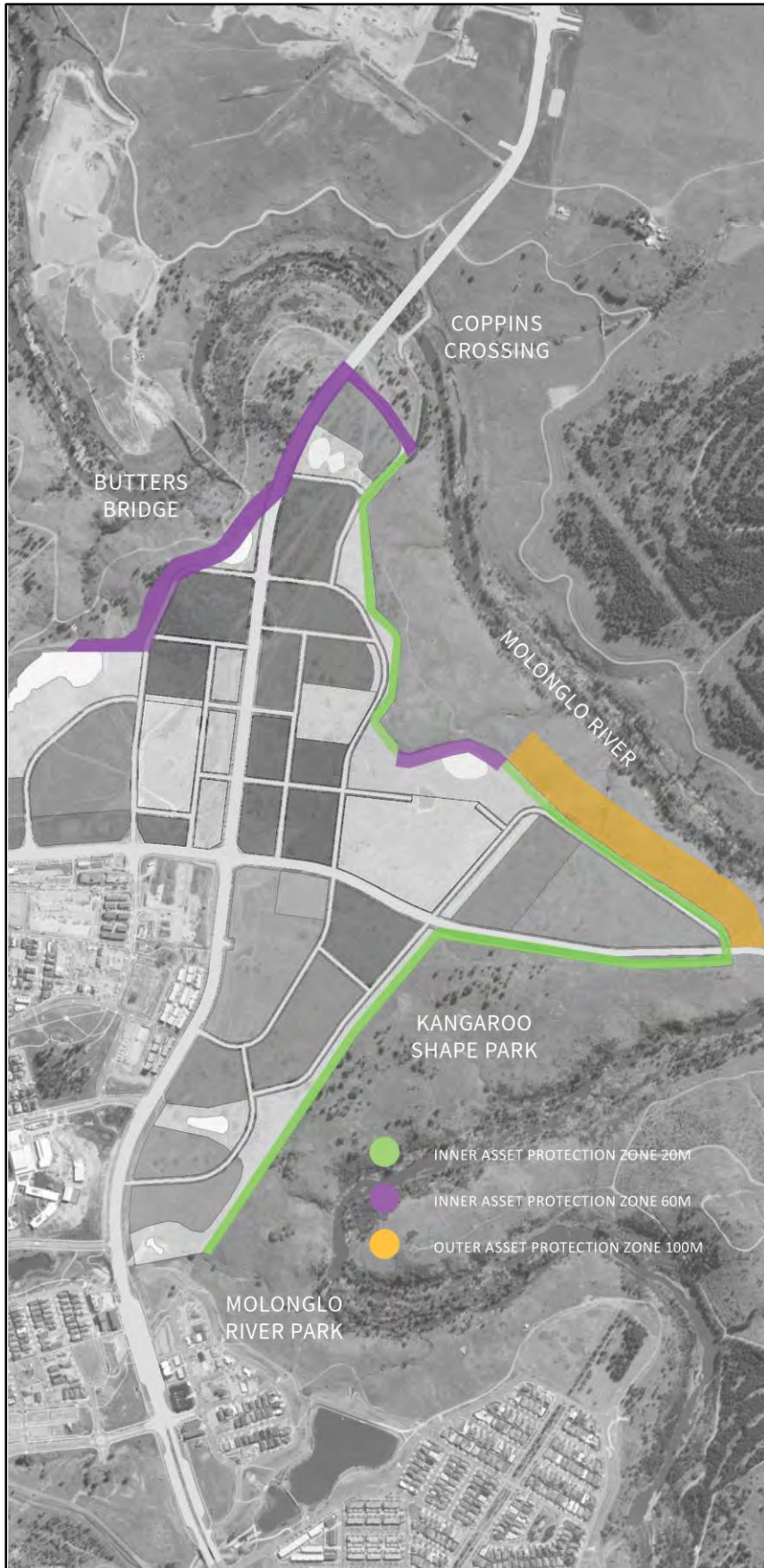


Figure 8: Bushfire protection zones

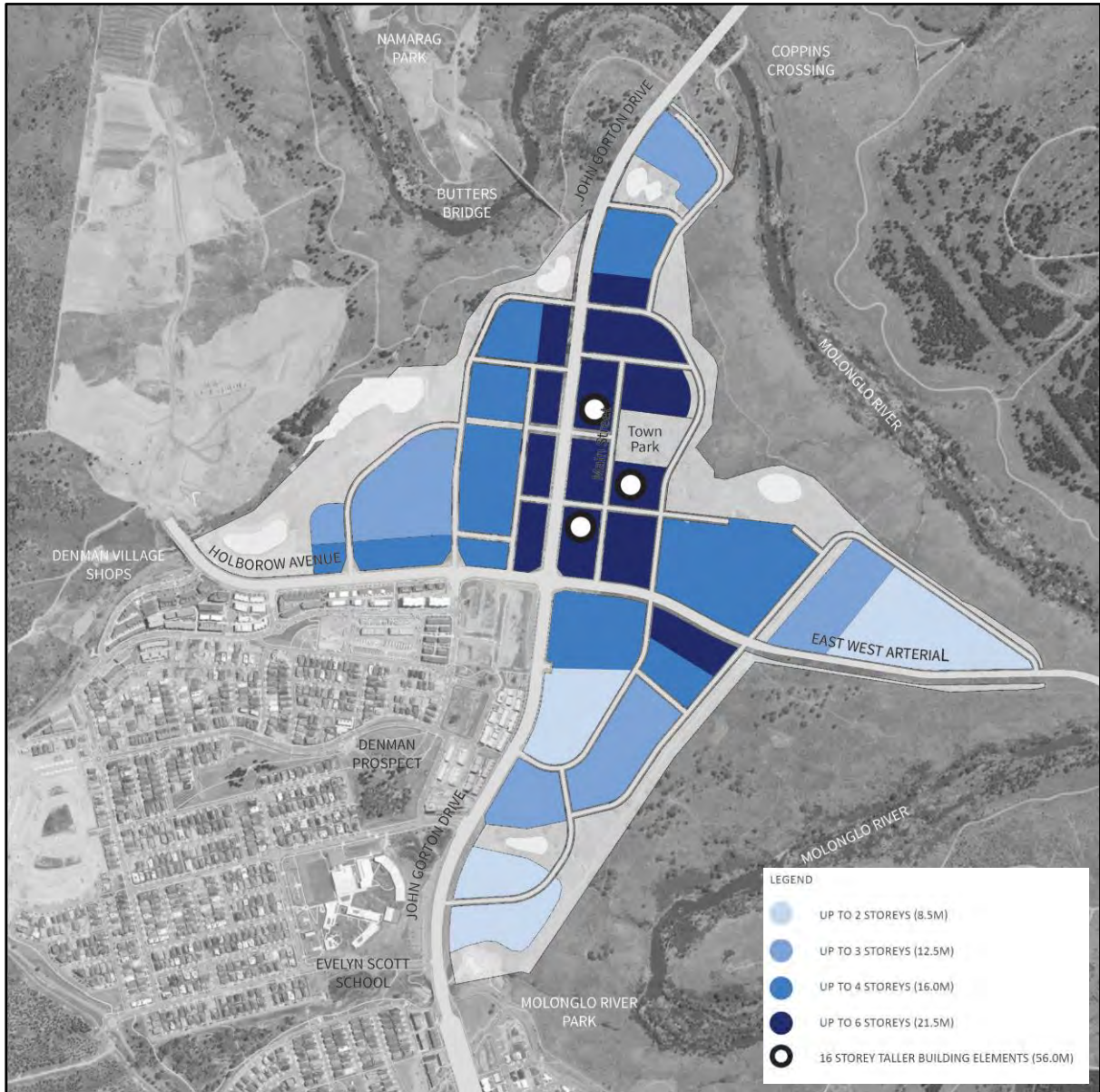


Figure 9: Building heights

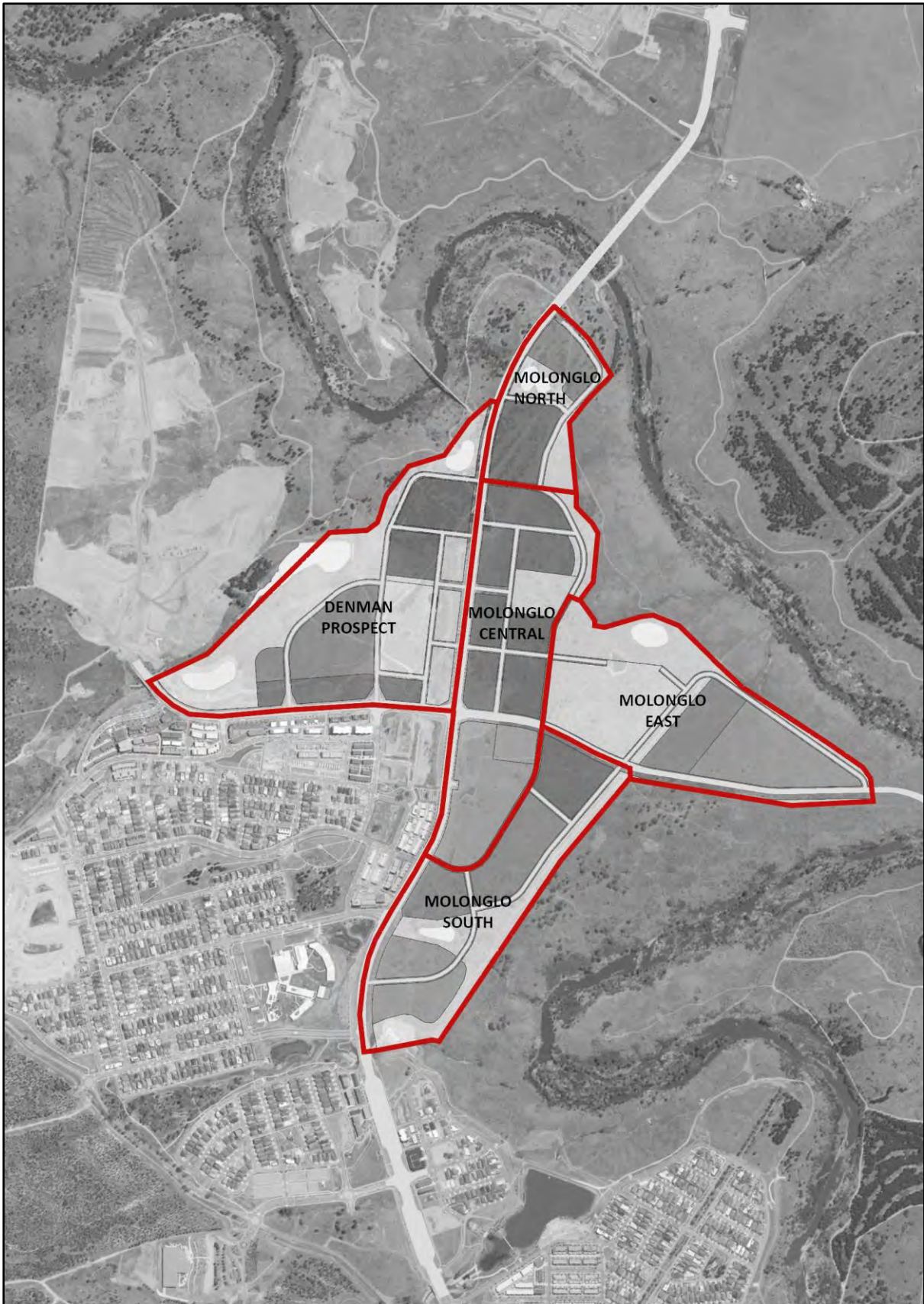


Figure 10: Precinct Location Plan (refer Table 1)

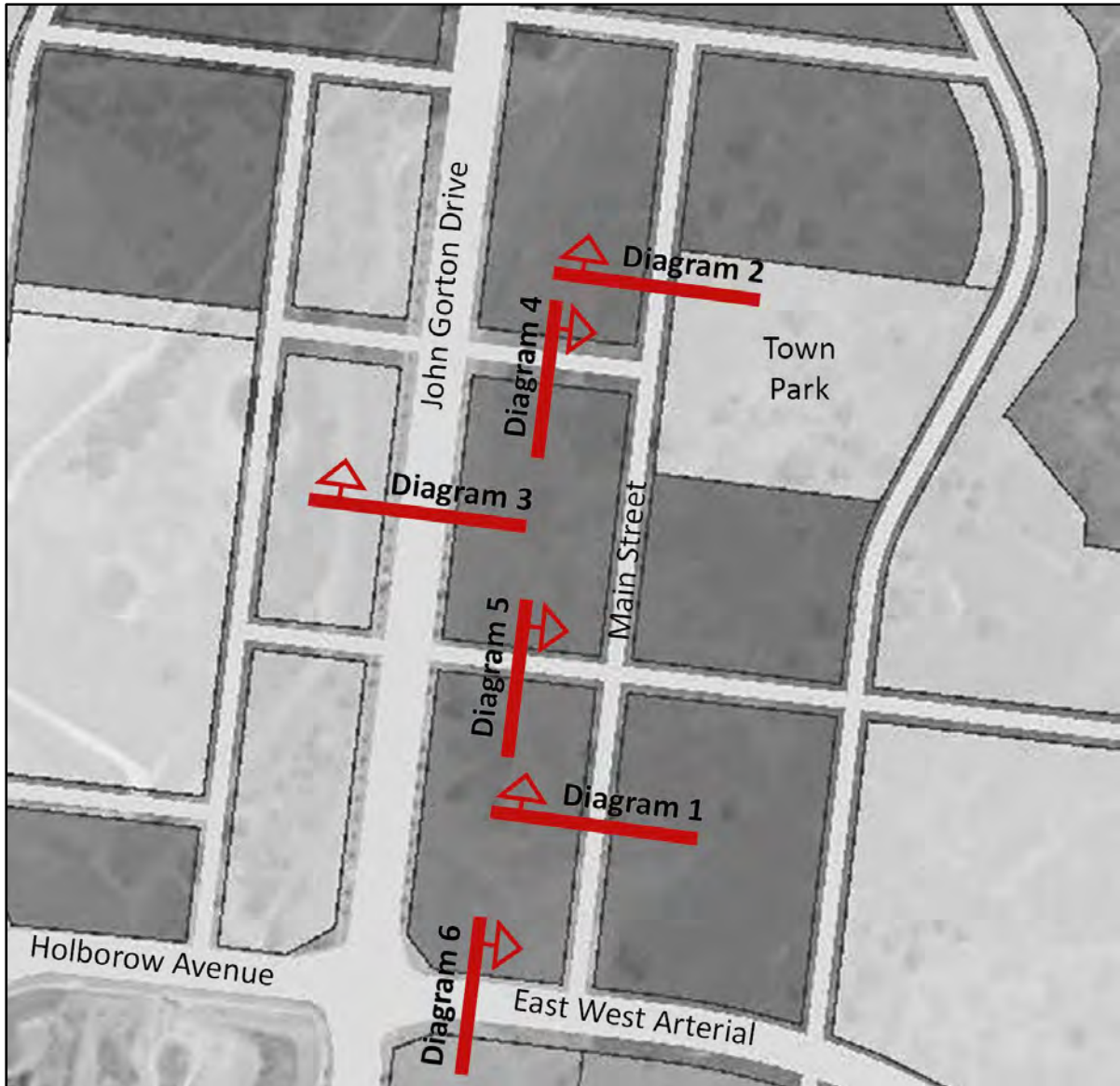


Figure 11: Diagram Locality Plan (Diagrams 1-6)

For approximate locations of Diagrams 1-6 refer Figure 11

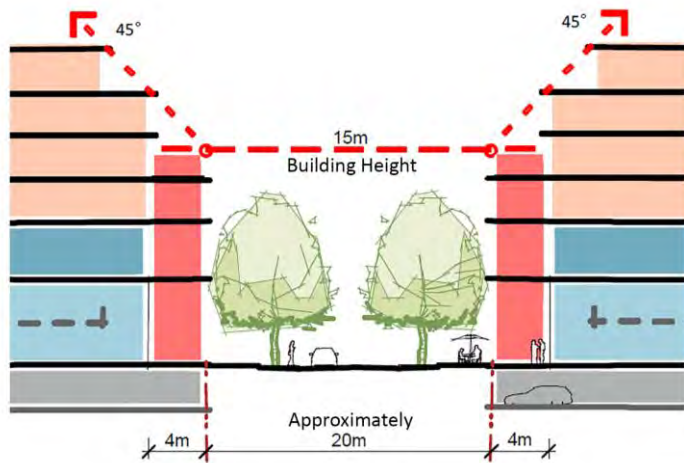


Diagram 1: Typical cross section of main street

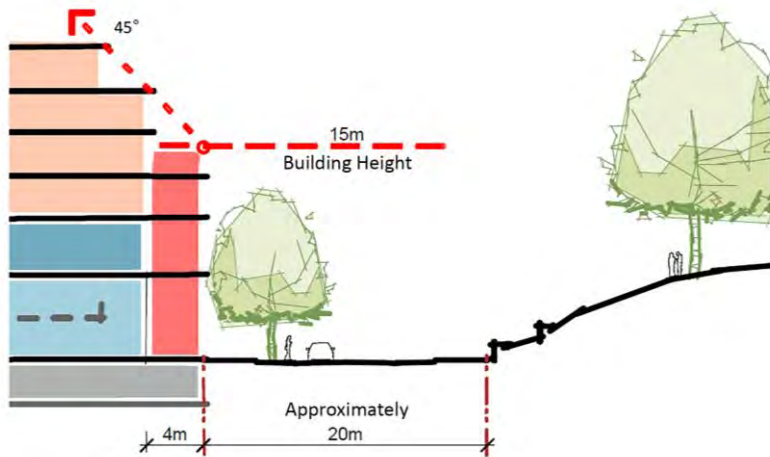


Diagram 2: Typical cross section of main street at the town park

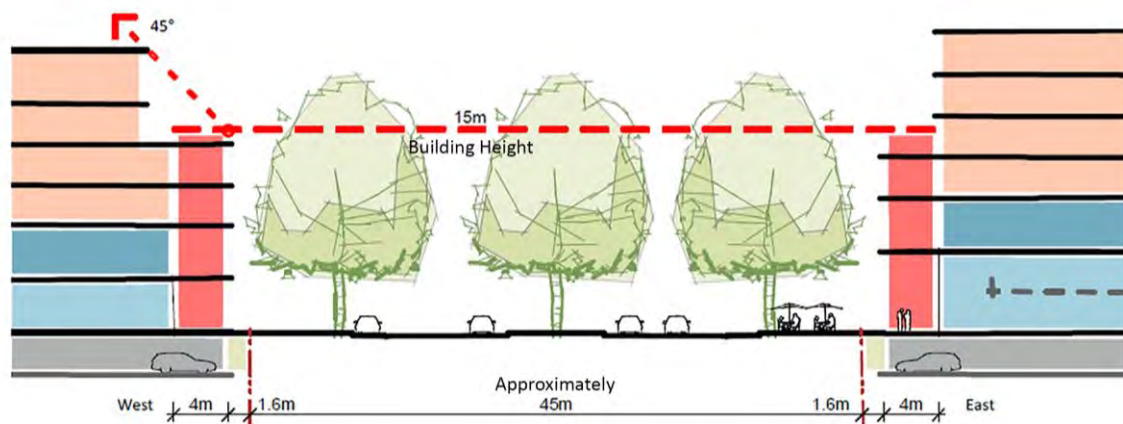


Diagram 3: Typical cross section of John Gorton Drive

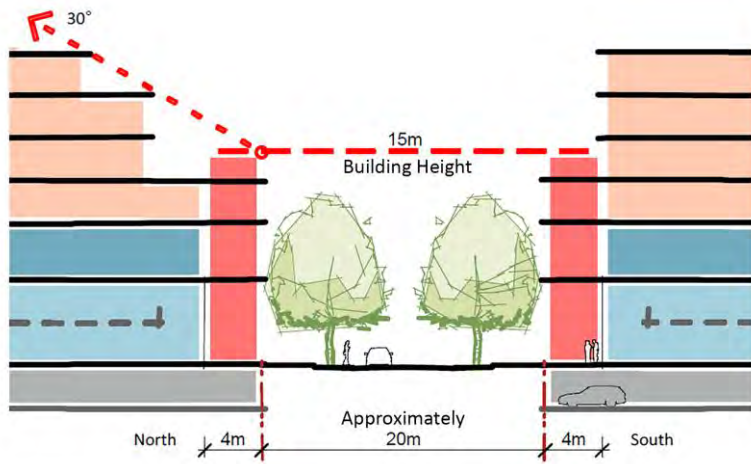


Diagram 4: Typical cross section of the east-west access streets

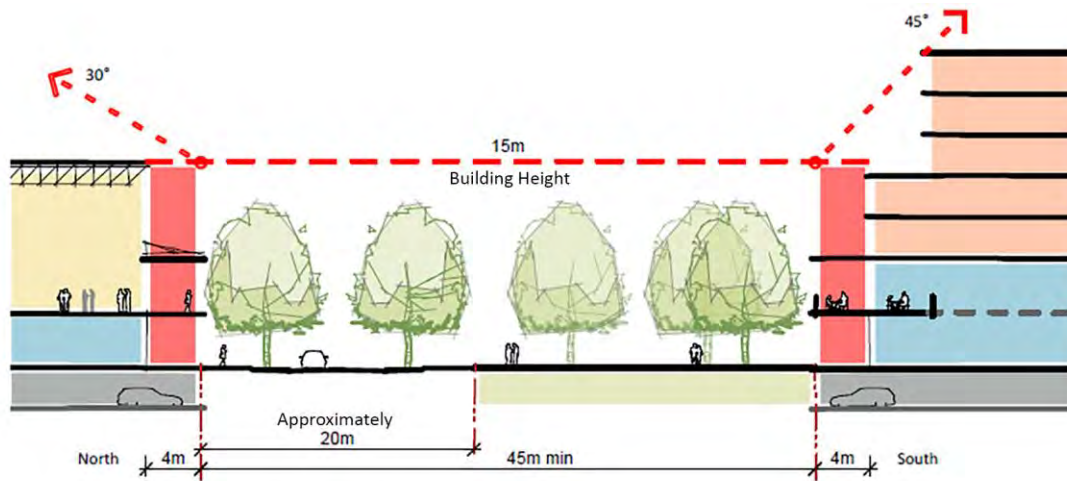


Diagram 5: Cross section of group centre plaza

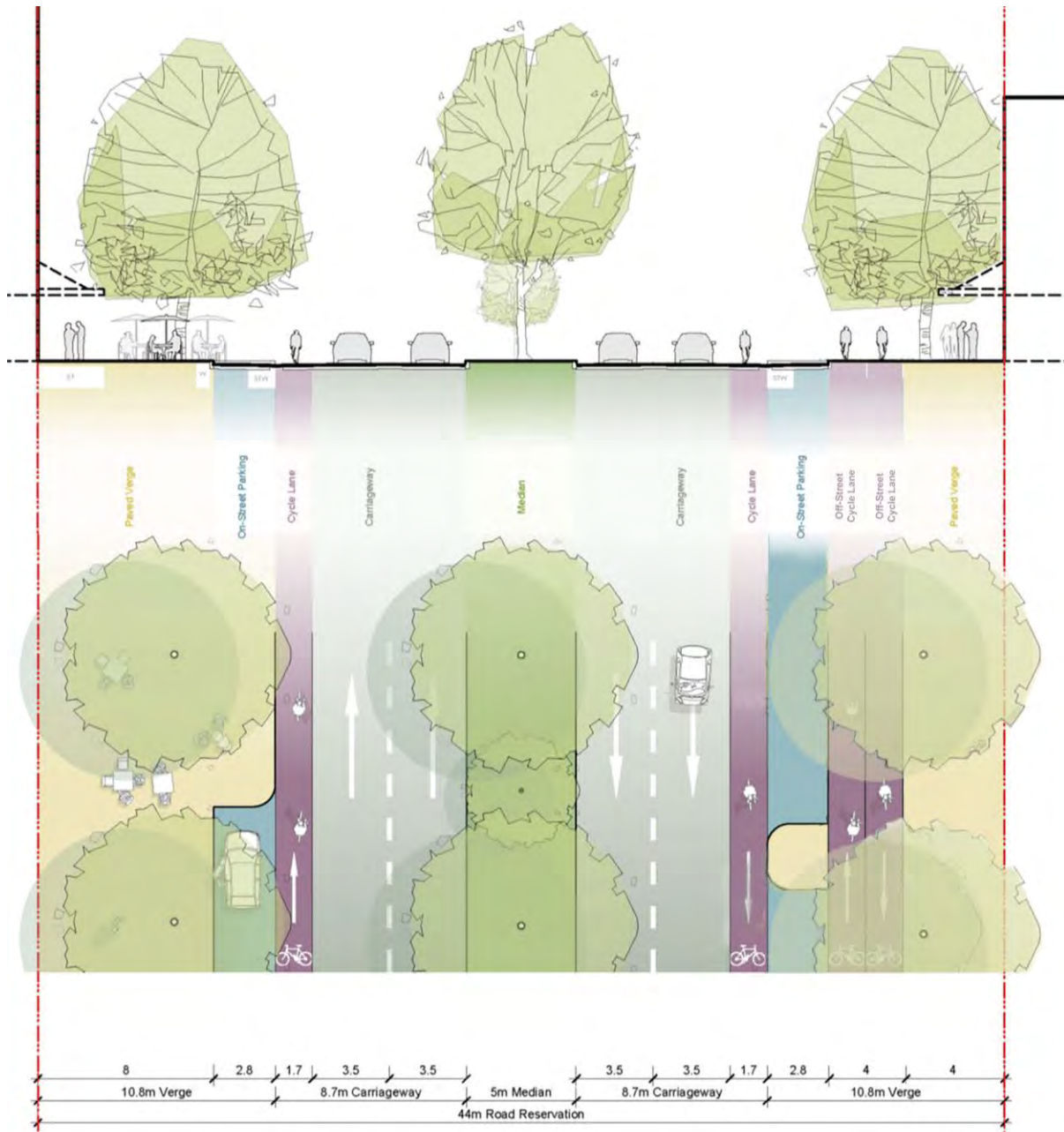


Diagram 6: Typical cross section of east-west arterial road

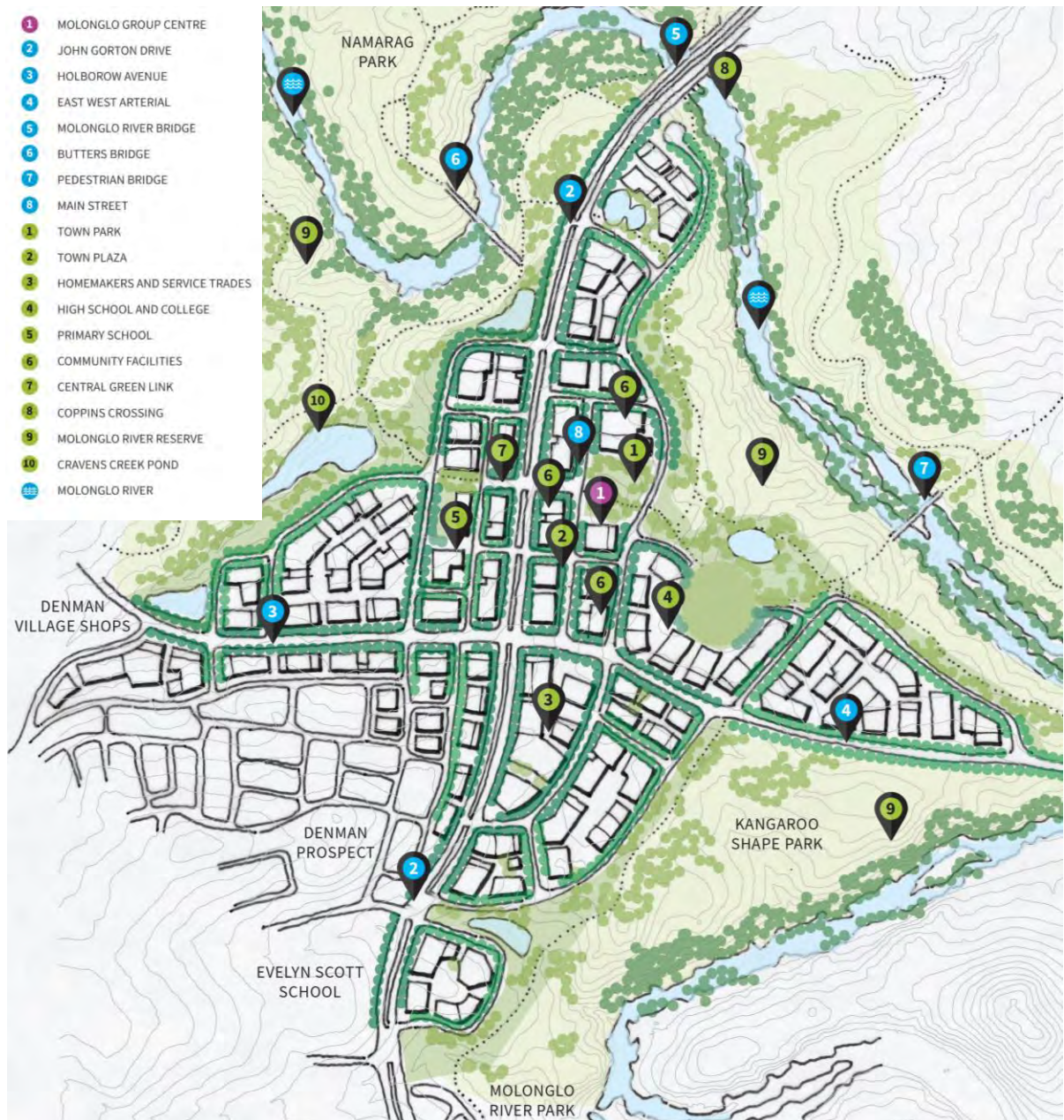


Image 1: Concept plan illustrative



Image 2: Artist impression of the east-west cross street elevation looking north



Image 3: Artist impression of the street elevation along the east-west arterial looking north

PRECINCT – MOLONGLO CENTRAL	AREA HA	MIN DWELLING YIELD	MAX DWELLING YIELD
Commercial Core CZ1	6.7	950	1350
Mixed CZ1 and CFZ (CFZ - optional see C8)	7.6	1050	1500
Services CZ3 and CFZ (CFZ - optional see C8)	7.9	0	0
PRZ2	1.5	0	0
Urban Open Space PRZ1	3.7	0	0
Totals	27.4	2000	2850
PRECINCT - MOLONGLO SOUTH	AREA HA	MIN DWELLING YIELD	MAX DWELLING YIELD
Urban Residential RZ3	5.7	115	225
Medium Density Residential RZ4	7.9	400	475
High Density Residential RZ5	3.7	300	370
Urban Open Space PRZ1	10.3	0	0
Totals	27.6	815	1070
PRECINCT - DENMAN PROSPECT	AREA HA	MIN DWELLING YIELD	MAX DWELLING YIELD
Medium Density Residential RZ4	7.3	360	450
High Density Residential RZ5	9.2	730	900
Mixed Use CZ5	3.5	490	700
Community Facility CFZ minimum	4.3	0	0
Urban Open Space PRZ1	16.3	0	0
Totals	40.6	1580	2050
PRECINCT – MOLONGLO NORTH	AREA HA	MIN DWELLING YIELD	MAX DWELLING YIELD
Medium Density Residential RZ4	2.8	150	170
High Density Residential RZ5	4.3	350	430
Urban Open Space PRZ1	2.8	0	0
Totals	9.9	500	600
PRECINCT – MOLONGLO EAST	AREA HA	MIN DWELLING YIELD	MAX DWELLING YIELD
Urban Residential RZ3	7.9	160	315
Medium Density Residential RZ4	4.6	230	275
Community Facility CFZ minimum	9.3	0	0
Urban Open Space PRZ1	9.8	0	0
Totals	31.6	390	590
TOTAL COMBINED AREA IN HECTARES	137.1	*excluding John Gorton Drive and east-west arterial	
TOTAL COMBINED DWELLINGS	MIN 5285	MAX 7160	

Table 1 Dwelling yield and zone area (see figure 10 for Precinct Location Plan)

From: Marcantonio, Laura <Laura.Marcantonio@act.gov.au>
Sent: Wednesday, 14 September 2022 4:46 PM
To: Haire, Katy <Katy.Haire@act.gov.au>
Cc: EDU, Director-General Office <EDUDirectorGeneralOffice@act.gov.au>; EPSDD Ministerials and Corro Executive Office <EPSDDMinisterialsandCorroExecutiveOffice@act.gov.au>
Subject: Correspondence from DG Ponton

OFFICIAL

Good afternoon Director-General Haire,

Please find attached correspondence from Director-General Ben Ponton in response to a letter from A/g Director-General Simmons, about the planned future education sites associated with Technical Amendment TA2022-01 - Introduction of Molonglo Group Centre and Surrounds Concept Plan.

I note Ben signed this letter on 8 September and I do apologise for the delay in sending it to you.

Kind regards,

Laura

Laura Marcantonio | Senior Director, Office of the Director-General
Environment, Planning and Sustainable Development Directorate | ACT Government
Email: Laura.Marcantonio@act.gov.au
Level 4, Snowgum, 480 Northbourne Ave, Dickson, ACT 2602 | GPO Box 158, Canberra 2601
www.environment.act.gov.au | www.planning.act.gov.au

**ACT**
GovernmentEnvironment, Planning and
Sustainable Development

22/107135

Ms Katy Haire
Director-General
Education Directorate

Katy.Haire@act.gov.au

Dear Ms Haire

Public Education Sites associated with Technical Amendment TA2022-01

I refer to the letter dated 9 August 2022 from Acting Director-General, Jane Simmons PSM, about the planned future education sites associated with *Technical Amendment TA-2022-01 – Introduction of the Molonglo Group Centre and Surrounds Concept Plan and rezoning of land within the future urban area of Molonglo and changes to the Commercial Zones Development Code (TA2022-01)*.

I can confirm the planned location for the education facilities, as shown in the Orthophoto Plan provided with Ms Simmons' letter (refer to Attachment A). I can also confirm the size of the college and high school campus site in Molonglo is set at 9.3 hectares, and the Denman Prospect primary school site at 4.3 hectares. This information will be updated and reflected in the Technical Amendment (TA2022-01), which is expected to be finalised and incorporated into the Territory Plan later this year. I also provide, at Attachment A, the updated Land Use Zones Plan which reflects the changes detailed in Ms Simmons' letter.

I appreciate the work undertaken at officer level between our respective directorates, which has resulted in the confirmation of the campus sizes, locations and how the future schools can contribute to the planned community of Molonglo Group Centre and its surrounds. I welcome your confirmation that access to public education facilities will be maximised for the community, including access outside of school hours to a district oval in the college/high school campus and a playing field in the primary school site, as well as access to school halls and gymnasiums for sporting and community meeting purposes.

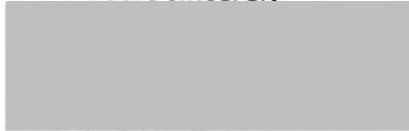
Providing community access to these facilities is consistent with the Molonglo Group Centre and Surrounds Concept Plan and contributes to delivering safe and inviting public places and spaces for the future community of the Molonglo Valley.

Once the Technical Amendment is finalised, delivery responsibility of the Molonglo Group Centre and surrounds will transfer to the Suburban Land Agency (SLA).

Having confirmation of the Education Directorate's requirements ahead of transfer to the SLA provides certainty for the ACT Government on the delivery of schools in the district.

I look forward to working collaboratively with the Education Directorate as we progress the planning and delivery of the Molonglo Valley.

Yours sincerely



Ben Ponton
Director-General
8 September 2022

Attachment A

Figure 1. Orthophoto Plan

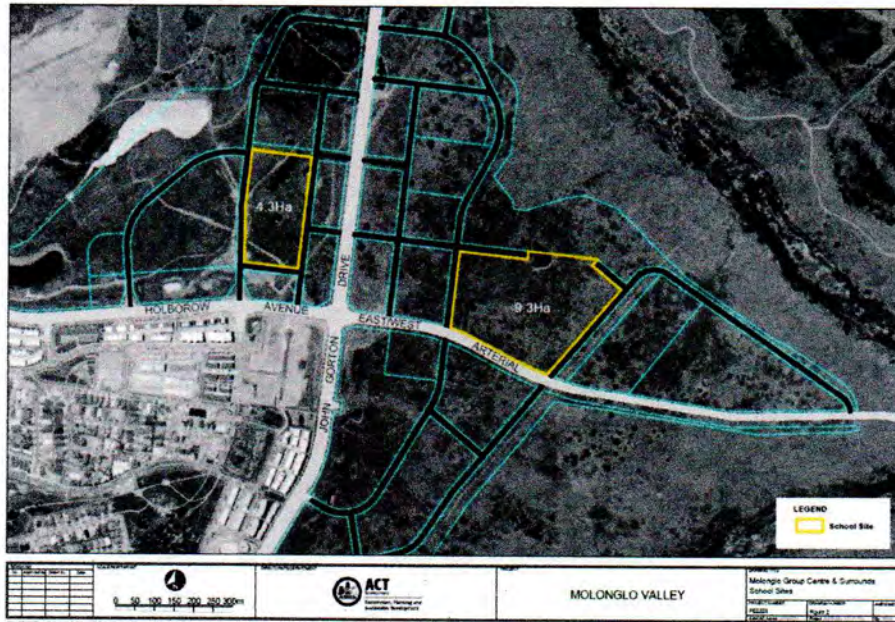
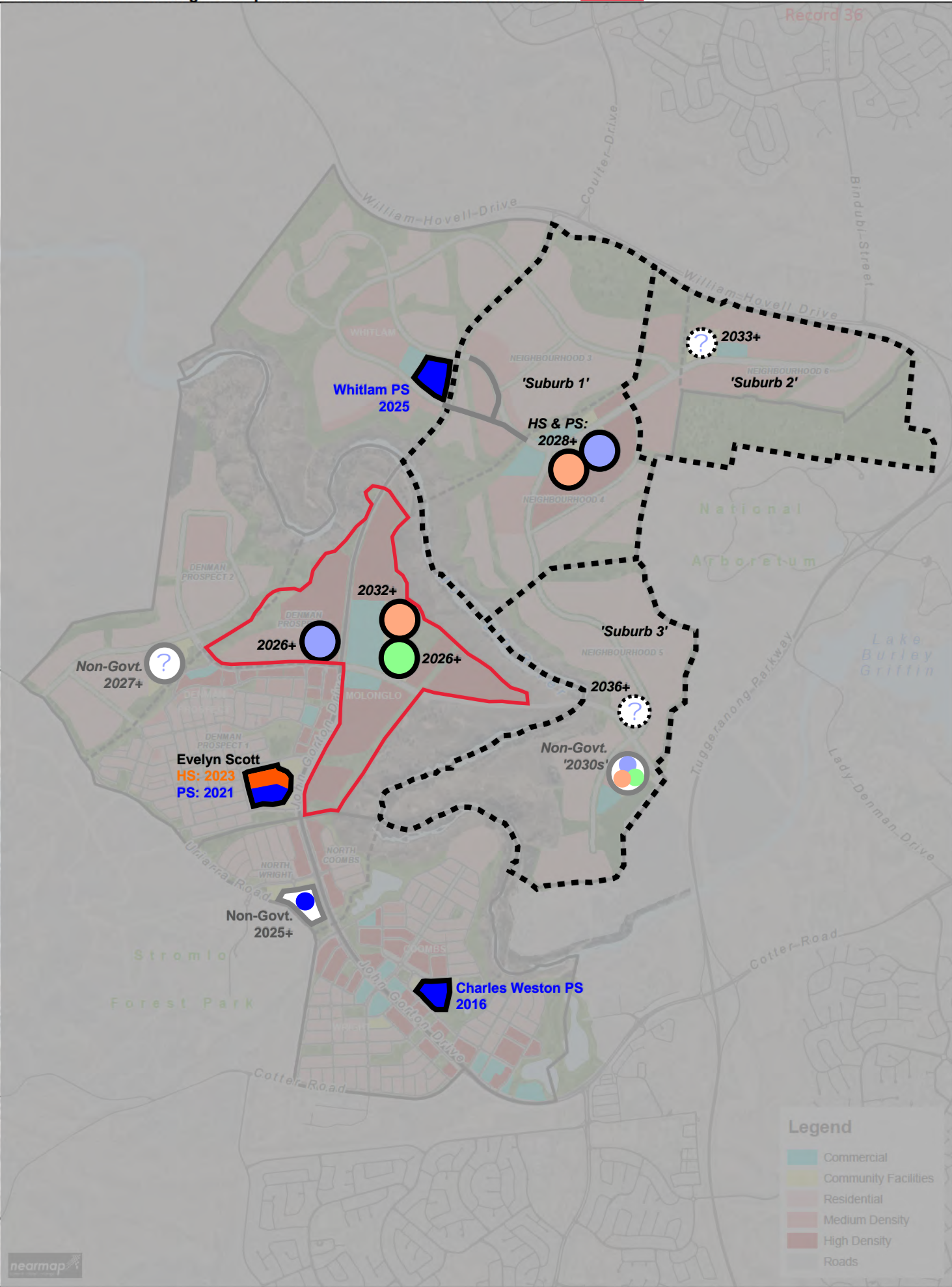


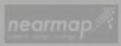
Figure 2. Updated Land Use Zones Plan



- LEGEND
- CZ1: COMMERCIAL ZONE - CORE
 - CZ3: COMMERCIAL ZONE - SERVICES
 - CZ5: COMMERCIAL ZONE - MIXED USE
 - CFZ: COMMUNITY FACILITIES ZONE
 - PRZ1: URBAN OPEN SPACE ZONE
 - PRZ2: RESTRICTED ACCESS
 - RZ3: RESIDENTIAL ZONE - URBAN RESIDENTIAL
 - RZ4: RESIDENTIAL ZONE - MEDIUM DENSITY
 - RZ5: RESIDENTIAL ZONE - HIGH DENSITY RESIDENTIAL



G:\LAP\SE\Land Supply & Policy\GIS\1_Maps and Figures\MOLONGLO VALLEY\MOLONGLO VALLEY Planning Design Framework\PO1657 Planning Design Framework\Figure 1_Molonglo Valley.mxd



Legend

- Commercial
- Community Facilities
- Residential
- Medium Density
- High Density
- Roads

Operational or committed

- Primary - Public
- High - Public
- Primary - Non-Govt.

Proposed per forecast demand

- Primary - public
- High - public
- College - public
- Non-Govt
- Viability TBD
- 2033+ Staging (est.)

MOLONGLO SCHOOLS
ACT Education July 2022

MOLONGLO VALLEY LAND USE CONCEPT PLAN & PLANNING DESIGN FRAMEWORK (EPSDD)

Page 5 of 5

Robert Connors v.20220715

■ ■ ■ Future suburb (Stage 3 'East')

Conners, Rohen

From: Thompson, Chris
Sent: Friday, 21 October 2022 2:47 PM
To: Klein, Liz; Conners, Rohen
Subject: Commencement of technical amendment TA2022-01 - Molonglo Group Centre and surrounds

Hi All

Please note that technical amendment **TA2022-01 Molonglo Group Centre and surrounds** takes effect today (21 October 2022).

TA2022-01 makes the following changes to the Territory Plan:

- Introduces the Molonglo Group Centre and Surrounds Concept Plan
- Rezones land under the Future Urban Area (FUA) overlay at Molonglo
- Amends the Commercial Zones Development Code to include Molonglo Group Centre in the list of group centres.

The area subject to this technical amendment is located in the district of Molonglo and includes land intended for the commercial group centre and its surrounds in the suburbs of Molonglo and Denman Prospect. The suburb of Molonglo will become the principal commercial hub for the district of the Molonglo Valley. The suburb will accommodate commercial, retail, recreational, residential, and community facilities.

The concept plan introduced as part of this technical amendment provides a planning and design framework to facilitate development and implementation of the vision for the Molonglo Group Centre and surrounds.

The Report on Consultation, which responds to public comments, is available at:

https://www.planning.act.gov.au/planning-our-city/territory-plan/current_technical_variations.

The technical amendment can be found in the notifiable instrument: <https://www.legislation.act.gov.au/ni/2022-385/>.

Regards

Territory Plan Section | General enquiries inbox | terrplan@act.gov.au

Planning and Urban Policy | Environment, Planning and Sustainable Development | **ACT Government**

480 Northbourne Avenue Dickson | GPO Box 158 Canberra ACT 2601 | www.planning.act.gov.au